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SMITH RANCH NEIGHBORHOOD

FINAL PLANNED UNIT DEVELOPMENT GUIDE

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INTRODUCTION

This Planned Unit Development Guide (PUD Guide) is for certain real property known as Smith Ranch as described in Exhibit M and located in the Town of Silverthorne, Summit County Colorado. The PUD Guide is to be effective as of the date it is recorded in the official records of the Summit County Clerk and Recorder. The PUD Guide is a controlling document and expressly addresses a certain type of regulation or standard (e.g., setbacks, buildings heights, etc.) If this PUD Guide does not address a type of regulation or standard within the Town of Silverthorne Code, then the provisions of the Town of Silverthorne Code with regard to that type of regulation or standard shall apply.

Smith Ranch is a landmark neighborhood targeted towards the local community. The Smith Ranch neighborhood is envisioned as a vibrant and dynamic community of individuals and families who aspire to make Silverthorne their home for years into the future. The community shall foster diversity through the provision of various home types. To accomplish this, a variety of distinctive housing opportunities will be available to future residents.

SMITH RANCH MISSION

The Smith Ranch Neighborhood reflects the Town of Silverthorne's dedication and commitment to ensuring that there are housing types available to meet the demand of the local community.

Community Mission:

To build a connected community that is appealing and vibrant with enduring residences, a cohesive street network, outdoor gathering spaces, and design that bolsters neighbor to neighbor interaction. The Smith Ranch neighborhood is envisioned as a community of residents with ingrained ties to the community, and who have a stake in the successful evolution of the neighborhood.

Economic Mission:

To contribute to the growth and vitality of the economy by responding to the need for housing in Summit County. Smith Ranch is envisioned as a desirable neighborhood with various housing types to promote diversity. Such housing supports a robust and balanced labor pool, which is key to the success of local businesses, the Summit County economy, and the entire Silverthorne community.

Social Mission:

To foster diversity, fraternity and equity by facilitating the interaction and collaboration of residents who desire to make Silverthorne their long-term home. Socially, Smith Ranch will foster relationships between neighbors, age groups, ethnic groups, all of which improve the quality of life of the greater community.

ARTICLE ONE: DEFINITIONS

For the purposes of this PUD Guide, the following terms shall be defined as follows. All terms in this PUD Guide that are not otherwise defined below, shall have the meanings given to them in the Town of Silverthorne's Code.

Alley – An access easement, dedicated to public uses, which gives a secondary means of access to the rear or side of properties otherwise abutting a street or open space, and which also may be used for public utility and maintenance access. Alleys shall be privately owned and maintained per the declarations and covenants.

Architectural Guidelines - Design guidelines adopted and administered by the Smith Ranch Neighborhood HOA.

Architectural Review Committee – The Smith Ranch Neighborhood HOA or its designee established to review homes for compliance with the Smith Ranch Architectural Guidelines. Architectural Review by the Smith Ranch HOA is only applicable to the Smith Ranch Neighborhood.

Building Envelope - The three-dimensional space within which a building is permitted to be built on a lot, and which is defined by regulations governing setbacks, lot coverage, and building height.

Condominium Building- A multiple Dwelling Unit Building where the interior airspace of the Dwelling Units are subdivided for separate, fee simple ownership.

Construction Uses – Storage and construction offices from which building and infrastructure construction activities are managed, which may be allowed on Property during the duration of project construction. Construction Office location(s) are to be identified in the Construction Management Plan.

Duplex – A structure on a single lot containing two (2) dwelling units, each of which is entirely separated from the other by an unpierced common wall extending from foundation to roof. Each unit must have an exterior entrance.

Dwelling Unit – A building used or intended to be used exclusively for residential occupancy.

Easement - Shall be defined per Town code.

Effective Date - The date this PUD Guide is recorded.

Homeowner's Association - The Homeowner's Association (HOA) for Smith Ranch Neighborhood including an Architectural Review Committee.

Lot Coverage - That area of a lot that may be occupied by buildings, as defined by this PUD.

Master Covenants - The recorded declaration of covenants, conditions and restrictions for Smith Ranch Neighborhood and Shops at Smith Ranch.

Model Home- Any Dwelling Unit to be used by the developer for advertising, marketing and sales purposes.

Multi-family Dwelling Unit - A dwelling unit located within a building or group of buildings containing three (3) or more dwelling units used for either rental or ownership, or a dwelling unit located within a mixed-use building. This term includes apartments, condominiums, townhouses and triplexes.

Open Space - There are two types of Open Space within Smith Ranch, public open space and private open space. Ownership and maintenance of Open Space shall be regulated in the declarations and covenants for Smith Ranch.

Owner - An individual, firm, or other legal entity who owns or holds title to real property.

Planning Area - Each of the separate areas into which the Property is divided as set forth in Section 2.1 and referenced on the PUD plan for the purpose of designating uses, density, and development standards.

Property - That certain real property located in Silverthorne, Colorado as described in Exhibit M.

Sales Uses - A real estate sales office used for advertising, marketing and sales promotions which may be allowed on Property during the duration of project construction and duration of developer sales following preliminary site plan approval. This term includes use of a mobile structure or any dwelling unit as an on-site sales office or Model Home.

Shops at Smith Ranch – Is considered Planning Area 3 of Smith Ranch.

Smith Ranch Neighborhood – Is considered Planning Area 1, Planning Area 2 and Planning Area 7 of Smith Ranch.

Storage - Space available for storage of items allocated within residential units and/or garages.

Town Code - The Town of Silverthorne Code, which includes definitions, regulations and engineering standards currently in effect, or as may be amended from time to time.

ARTICLE TWO: PLANNING AREAS, USES AND DENSITIES

1.1 Planning Areas – The seven (7) Planning Areas on the property are specified below:

- (a) Planning Area 1 – PA1 - Single Family / Duplex Residential
- (b) Planning Area 2 – PA2 – Multi-Family Residential West
- (c) Planning Area 3 – PA3 – Commercial and Mixed Use
- (d) Planning Area 4 – PA4 – Public Facilities
- (e) Planning Area 5 – PA5 – Open Space
- (f) Planning Area 6 – PA6 – Open Space
- (g) Planning Area 7 – PA7 - Multi-Family Residential East

2.2 Planning Area Development Standards

- (a) This PUD Guide establishes the land uses, permitted densities and the development standards applicable to each Planning Area.
- (b) The development standards within each Planning Area (including, but not limited to, minimum parcel sizes, setbacks, and permitted building heights) are set forth in Figure 2.1 and shall be calculated pursuant to the methodologies and procedures set forth in the Town Code, except as expressly set forth otherwise in this PUD Guide.
- (c) Planning Areas noted on the PUD Plan are approximate and may be administratively modified up to fifteen percent (15%) in area during actual subdivision of the land.

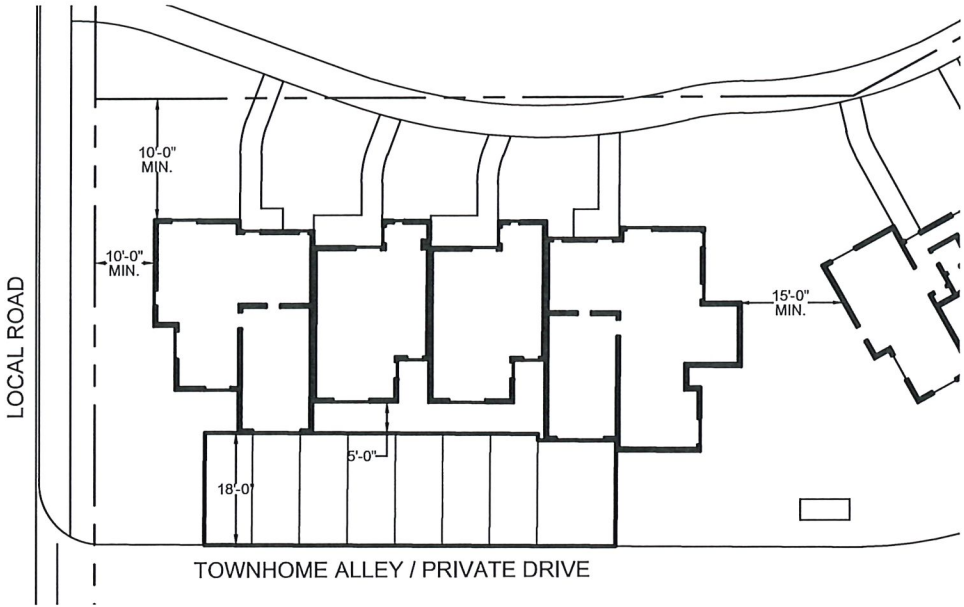
Figure 2.1

PLANNING AREA 1 – SINGLE FAMILY / DUPLEX																	
Permitted Uses	<p>Residential Uses:</p> <ol style="list-style-type: none"> 1. Single family detached. 2. Duplex. <p>Open Space and Recreation Uses:</p> <ol style="list-style-type: none"> 1. Open Space, recreation and trails. 2. Playground and community park features. <p>Other Uses:</p> <ol style="list-style-type: none"> 1. Community elements including but not limited to mail kiosks, community centers, trash and recycling enclosures, bus shelters, etc. 2. Entry signs / monuments / structures for the Smith Ranch community. 3. Trailhead signage. 4. Trailhead and visitor parking. 																
Accessory Uses	<ol style="list-style-type: none"> 1. Model Homes and sales facilities are permitted. 2. Outdoor amenities including but not limited to private dish antennas, swing sets, play sets, motor vehicle parking and similar improvements are permitted. 3. The outdoor parking or storage of Recreational Vehicles, boats, trailers, attached campers, and other similar items is prohibited. 																
Maximum Number of Permitted Homes	One hundred forty (140).																
Lot Frontage Minimum	Thirty feet (30') on public right-of-way, alley easement or private shared driveway.																
Minimum Lot Area	Two thousand square feet (2,000 SF).																
Building Setbacks	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2">Alley Loaded Home Setback (measured from property line to foundation wall)</td> </tr> <tr> <td style="width: 50%;">Front</td> <td style="width: 50%;">10'</td> </tr> <tr> <td>Side</td> <td>5'</td> </tr> <tr> <td>Rear</td> <td>17' 6"</td> </tr> <tr> <td colspan="2">Front Loaded Home Setback (measured from property line to foundation wall)</td> </tr> <tr> <td>Front</td> <td>18'</td> </tr> <tr> <td>Side</td> <td>5'</td> </tr> <tr> <td>Rear</td> <td>10'</td> </tr> </table>	Alley Loaded Home Setback (measured from property line to foundation wall)		Front	10'	Side	5'	Rear	17' 6"	Front Loaded Home Setback (measured from property line to foundation wall)		Front	18'	Side	5'	Rear	10'
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<p>Building Setbacks (cont.)</p>	<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;"> <p><u>ALLEY LOADED DUPLEX AND SINGLE FAMILY</u> (40', 50', 60' X 92.5')</p> </div> <div style="text-align: center;"> <p><u>FRONT LOADED DUPLEX AND SINGLE FAMILY</u> (40', 50', 60' X 80')</p> </div> </div> <p>Notes:</p> <ol style="list-style-type: none"> 1. All sides fronting a public road shall have a ten foot (10') setback. 2. Duplex structures are to have a zero foot setback from party walls. 3. At-grade patios may extend beyond the setback line. 4. Lot lengths are approximate and may vary. 5. Eaves and roof overhangs may extend beyond a setback line not more than three feet (3'), and in no case closer than three feet (3') to any lot line. 									
	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">Wetland / Riparian Setback</td> <td>Twenty five feet (25') for all permanent structures and development activities (grading, staging, etc.).</td> </tr> <tr> <td>Maximum Lot Coverage</td> <td>Sixty percent (60%) of lot area.</td> </tr> <tr> <td>Minimum Building Separation</td> <td> <ol style="list-style-type: none"> 1. Twelve feet (12') measured from foundation wall to foundation wall. 2. No building projections (cornices, canopies, eaves, fireplaces, wing walls or similar architectural features) may extend past a property line. </td> </tr> <tr> <td>Maximum Building Height</td> <td>Thirty-five feet (35') as measured per Town Code.</td> </tr> <tr> <td>Parking Requirement</td> <td>Each single family and duplex unit shall have a minimum of two (2) parking spaces on the lot.</td> </tr> </table>	Wetland / Riparian Setback	Twenty five feet (25') for all permanent structures and development activities (grading, staging, etc.).	Maximum Lot Coverage	Sixty percent (60%) of lot area.	Minimum Building Separation	<ol style="list-style-type: none"> 1. Twelve feet (12') measured from foundation wall to foundation wall. 2. No building projections (cornices, canopies, eaves, fireplaces, wing walls or similar architectural features) may extend past a property line. 	Maximum Building Height	Thirty-five feet (35') as measured per Town Code.	Parking Requirement
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Maximum Lot Coverage	Sixty percent (60%) of lot area.									
Minimum Building Separation	<ol style="list-style-type: none"> 1. Twelve feet (12') measured from foundation wall to foundation wall. 2. No building projections (cornices, canopies, eaves, fireplaces, wing walls or similar architectural features) may extend past a property line. 									
Maximum Building Height	Thirty-five feet (35') as measured per Town Code.									
Parking Requirement	Each single family and duplex unit shall have a minimum of two (2) parking spaces on the lot.									

PLANNING AREA 2 - MULTI-FAMILY RESIDENTIAL WEST

<p>Permitted Uses</p>	<p>Residential Uses:</p> <ol style="list-style-type: none"> 1. Townhomes. 2. Single Family Detached. 3. Duplex. 4. Multi-Family Dwelling Units. <p>Open Space and Recreation Uses:</p> <ol style="list-style-type: none"> 1. Open Space, recreation and trails. 2. Playground and community park features. <p>Other Uses:</p> <ol style="list-style-type: none"> 1. Community elements including but not limited to mail kiosks, community centers, trash and recycling enclosures, bus shelters, etc. 2. Entry signs / monuments / structures for the Smith Ranch community. 3. Trailhead signage. 4. Trailhead and visitor parking. 												
<p>Permitted Accessory Uses</p>	<ol style="list-style-type: none"> 1. Garages (attached). 2. Model homes and sales facilities. 3. Outdoor amenities including but not limited to private dish antennas, swing sets, play sets, motor vehicle parking and similar improvements. 												
<p>Maximum Number of Permitted Homes</p>	<p>Seventy six (76).</p>												
<p>Building Setbacks</p>	<table border="1" data-bbox="509 1289 1442 1682"> <tr> <th colspan="2">Multi-family Building Setback (measured from building foundation wall)</th> </tr> <tr> <td>Front from Tract Property Line</td> <td align="center">10'</td> </tr> <tr> <td>Side from Tract Property Line</td> <td align="center">10'</td> </tr> <tr> <td>Side from Back of Concrete Pan or Pavement on Alley / Internal Access Drive</td> <td align="center">10'</td> </tr> <tr> <td>Rear from Back of Concrete Pan or Pavement to Garage</td> <td align="center">18'</td> </tr> <tr> <td>Rear from Back of Concrete Pan or Pavement to Building</td> <td align="center">5'</td> </tr> </table> <p>Notes:</p> <ol style="list-style-type: none"> 1. All sides fronting a public road shall have a ten foot (10') setback. 2. Duplex and townhome structures are to have a zero foot setback from party walls. 	Multi-family Building Setback (measured from building foundation wall)		Front from Tract Property Line	10'	Side from Tract Property Line	10'	Side from Back of Concrete Pan or Pavement on Alley / Internal Access Drive	10'	Rear from Back of Concrete Pan or Pavement to Garage	18'	Rear from Back of Concrete Pan or Pavement to Building	5'
Multi-family Building Setback (measured from building foundation wall)													
Front from Tract Property Line	10'												
Side from Tract Property Line	10'												
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Rear from Back of Concrete Pan or Pavement to Garage	18'												
Rear from Back of Concrete Pan or Pavement to Building	5'												

<p>Building Setbacks (cont.)</p>	<p>3. Reference Minimum Building Separation.</p> <p>4. At-grade patios may extend beyond the side or rear setback line.</p> <p>5. Eaves and roof overhangs may extend beyond a setback line not more than three feet (3'), and in no case closer than three feet (3') to any lot line.</p> 
<p>Wetland / Riparian Setback</p>	<p>Twenty five feet (25') for all permanent structures and development activities (grading, staging, etc.).</p>
<p>Minimum Building Separation</p>	<p>Fifteen feet (15') measured from foundation wall to foundation wall.</p>
<p>Maximum Building Height</p>	<p>Thirty-five feet (35') as measured per Town Code.</p>
<p>Parking Requirement</p>	<ul style="list-style-type: none"> • Two (2) parking spaces per 2-bedroom and 3-bedroom multi-family units. • One (1) visitor parking space per every six (6) units.

PLANNING AREA 3 – COMMERCIAL

Permitted Uses, by Right	<p>Commercial uses consistent with typical neighborhood scale shopping centers including:</p> <ol style="list-style-type: none"> 1. Supermarket. 2. General retail. 3. Restaurants (no drive-through). 4. Bar, lounge, nightclub. 5. Professional offices and services. 6. Arts and entertainment facility. 7. Microbrewery / distillery. 8. Coffee Shop / roastery. 9. Gymnasium / health spa. 10. Daycare. 11. Laundromat / dry cleaning. 12. Community elements including but not limited to mail kiosks, community centers, trash and recycling enclosures, bus shelters, etc. 13. Entry signs / monuments / structures for the Smith Ranch community. 14. Trailhead signage. 15. Trailhead and visitor parking. 16. Roadside stand / farmer's market. 17. Garages (attached or detached). <p>Open Space and Recreation Use:</p> <ol style="list-style-type: none"> 1. Playground, plaza and other community park features.
Residential Uses, by Right	<ol style="list-style-type: none"> 1. Multi-family Dwelling Units. 2. Model homes and sales facilities. 3. Outdoor amenities including but not limited to private dish antennas, motor vehicle parking (not including Recreational Vehicles) and similar improvements. 4. Accessory uses typical to residential and mixed use development.
Conditional Uses	<ol style="list-style-type: none"> 1. Hospital / clinic. 2. School. 3. College / trade school. 4. Public buildings / fire station. 5. Light manufacturing.
Lot Frontage Minimum	None.
Maximum Bldg. Coverage	Sixty percent (60%) of Planning Area 3.
Minimum Open Space	Fifteen percent (15%) of total Planning Area.
Minimum Bldg. Separation	Fifteen feet (15') measured from foundation wall to foundation wall.

Building Setbacks	Building Setback (measured from building foundation wall)	
	Highway 9	20'
	Ruby Ranch Road	20'
	Northern Property Line	10'
	Adams Avenue	10'
	Interior Drives and Interior Property Line Boundaries / Tracts	0'
	Notes: 1. Eaves, balconies, balcony roofs and roof overhangs may extend beyond a setback line not more than three feet (3'), and in no case closer than three feet (3') to any lot line.	
Wetland / Riparian Setback	Twenty five feet (25') for all permanent structures and development activities (grading, staging, etc.).	

Maximum Building Height	<p>Thirty-five feet (35') as measured from the average of the finished grade of the four corners of the building to the highest vertical point of the roof.</p> <p>For the purposes of measuring the height of a multifamily residential building, the four corners of a building shall be defined as the four outside corners of each individual grouping of 2 or more multifamily residential units surrounding a primary stair core (a pod of units) or the four corners where foundational slab steps occur.</p> <p>Architectural elements such as decorative gabled or shed roofs, dormers, towers, porticos, mechanical equipment screening, elevator or stair overruns, and other similar overframed elements may exceed height limits by up to three feet (3').</p>
Density	One hundred forty one (141) units.
Parking Requirement	<p>Residential:</p> <ul style="list-style-type: none"> • All residential uses shall have dedicated parking onsite or on an adjacent private drive and visitor parking located within Planning Area 3. • One (1) parking space per studios and 1-bedroom units • Two (2) parking spaces per 2-bedroom and 3-bedroom multi-family units. • For each additional bedroom above 3, one half (0.5) parking space shall be required. • One (1) visitor parking space per every six (6) units. Visitor spaces may be shared with commercial parking spaces. <p>Commercial:</p> <ul style="list-style-type: none"> • Parking requirement shall follow Town Code. • Service and delivery vehicles shall have designated parking and unloading areas to be separated from customer parking and pedestrian circulation areas. • Handicap parking shall be provided at convenient locations throughout the site. • Parking shall be shared for all commercial uses.
Design Standards	All development in Planning Area 3 shall comply with the Town of Silverthorne Destination Commercial Design District Standards and Guidelines.

PLANNING AREA 4 – PUBLIC FACILITIES

<p>Permitted Uses</p>	<p>Public Uses:</p> <ol style="list-style-type: none"> 1. Public safety facility and civic uses. 2. Fire station. 3. Community facilities. 4. Public buildings. 5. Vehicle storage and maintenance facilities. <p>Other Uses:</p> <ol style="list-style-type: none"> 1. Accessory antennas for receiving and transmitting analog and digital transmissions. 2. Entry signs / monuments / structures. 3. Daycare. 								
<p>Permitted Accessory Uses</p>	<p>Dwelling Units associated with permitted uses, and incorporated into the structure of a building.</p>								
<p>Building Setbacks</p>	<table border="1" data-bbox="506 968 1463 1205"> <tr> <th colspan="2">Public Facilities Setback (measured from building foundation wall to property line)</th> </tr> <tr> <td>Front</td> <td>20'</td> </tr> <tr> <td>Side</td> <td>10'</td> </tr> <tr> <td>Rear</td> <td>10'</td> </tr> </table> <p>Notes:</p> <ol style="list-style-type: none"> 1. Eaves and roof overhangs may extend beyond a setback line not more than three feet (3'), and in no case closer than three feet (3') to any lot line. 	Public Facilities Setback (measured from building foundation wall to property line)		Front	20'	Side	10'	Rear	10'
Public Facilities Setback (measured from building foundation wall to property line)									
Front	20'								
Side	10'								
Rear	10'								
<p>Wetland / Riparian Setback</p>	<p>Twenty five feet (25') for all permanent structures and development activities (grading, staging, etc.).</p>								
<p>Antenna Setbacks</p>	<p>All antennas shall be setback from a property line as far as they are tall. For example, a twenty five foot (25') tall antenna is required to be setback twenty five feet (25') from the property line.</p>								
<p>Maximum Lot Coverage</p>	<p>Sixty percent (60%) of Planning Area 4.</p>								

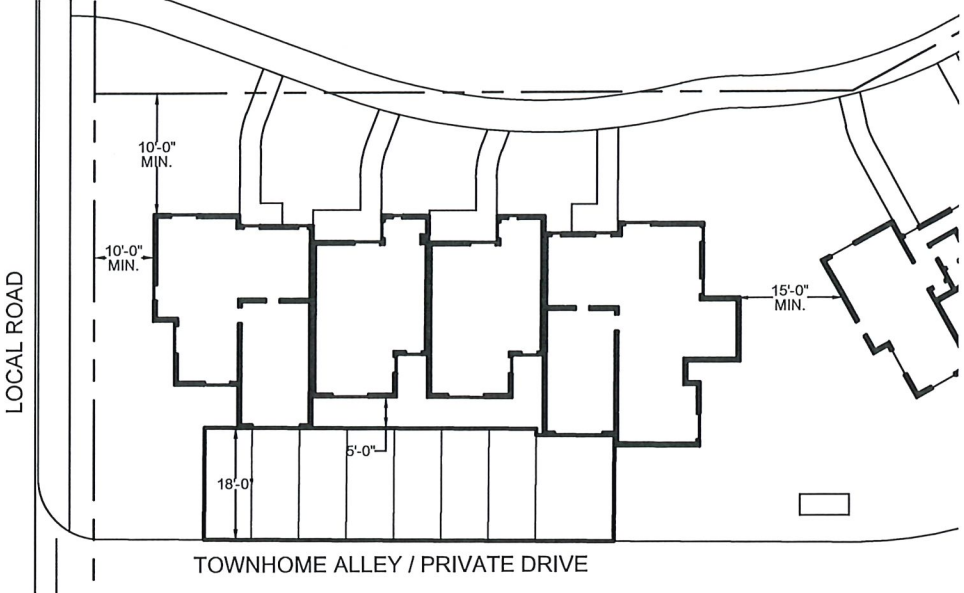
Maximum Building Height	<ul style="list-style-type: none"> • Thirty-five feet (35') for all buildings as measured from the average of the finished grade of the four corners of the building to the highest vertical point of the roof. • Forty feet (40') for architectural features. • Fifty feet (50') for accessory antennas.
Parking Requirement	<ul style="list-style-type: none"> • One (1) space per employee on the maximum shift plus three (3) additional spaces. • One (1) additional parking space is required to be provided per accessory dwelling unit.
Design Standards	<p>All development in Planning Area 4 shall comply with the Town of Silverthorne Destination Commercial Design District Standards and Guidelines.</p>

PLANNING AREA 5 - OPEN SPACE	
Permitted Uses	<p>Open Space and Recreational Uses:</p> <ol style="list-style-type: none"> 1. Trails, signage, benches, picnic tables, shelters and other related recreation amenities. 2. Multi-use recreational trails, parks and related facilities. 3. Landscape, construction and maintenance of landscape elements. 4. Wetlands mitigation and restoration. 5. Pedestrian and / or vehicular creek crossings. 6. Passive recreation. <p>Other Uses:</p> <ol style="list-style-type: none"> 1. Entry signs / monuments / structures for the Smith Ranch community. 2. Trailhead signage. 3. Trailhead and visitor parking. 4. Entry signs / monuments / structures for the Smith Ranch community.
Wetland / Riparian Setback	Twenty five feet (25') for all permanent structures and development activities (grading, staging, etc.).

PLANNING AREA 6 - OPEN SPACE	
Permitted Uses	<p>Open Space and Recreational Uses:</p> <p>All recreational trails, related facilities and landscape elements are to be limited to the perimeter of PA-1. The western portion of PA-6 is to remain undisturbed open space to preserve wildlife habitat.</p> <ol style="list-style-type: none"> 1. Trails, signage, benches, picnic tables, shelters and other related recreation amenities. 2. Multi-use recreational trails, parks and related facilities. 3. Landscape, construction and maintenance of landscape elements. 4. Wetlands mitigation and restoration. 5. Passive recreation. <p>Other Uses:</p> <ol style="list-style-type: none"> 1. Entry signs / monuments / structures for the Smith Ranch community. 2. Trailhead signage.
Wetland / Riparian Setback	Twenty five feet (25') for all permanent structures and development activities (grading, staging, etc.).

PLANNING AREA 7 - MULTI-FAMILY RESIDENTIAL EAST

<p>Permitted Uses</p>	<p>Residential Uses:</p> <ol style="list-style-type: none"> 1. Townhomes. 2. Single Family Detached. 3. Duplex. 4. Multi-Family Dwelling Units. <p>Open Space and Recreation Uses:</p> <ol style="list-style-type: none"> 1. Open Space, recreation and trails. 2. Playground and community park features. <p>Other Uses:</p> <ol style="list-style-type: none"> 1. Community elements including but not limited to mail kiosks, community centers, trash and recycling enclosures, bus shelters, etc. 2. Entry signs / monuments / structures for the Smith Ranch community. 3. Trailhead signage. 4. Trailhead and visitor parking. 												
<p>Accessory Uses</p>	<ol style="list-style-type: none"> 1. Garages (attached). 2. Model homes and sales facilities. 3. Outdoor amenities including but not limited to private dish antennas, swing sets, play sets, motor vehicle parking and similar improvements. 												
<p>Maximum Number of Permitted Homes</p>	<p>Twenty four (24) units.</p>												
<p>Building Setbacks</p>	<table border="1" data-bbox="516 1276 1448 1675"> <tr> <td colspan="2">Multi-family Building Setback (measured from building foundation wall)</td> </tr> <tr> <td>Front from Tract Property Line</td> <td align="center">10'</td> </tr> <tr> <td>Side from Tract Property Line</td> <td align="center">10'</td> </tr> <tr> <td>Side from Back of Concrete Pan or Pavement on Alley / Internal Access Drive</td> <td align="center">10'</td> </tr> <tr> <td>Rear from Back of Concrete Pan or Pavement to Garage</td> <td align="center">18'</td> </tr> <tr> <td>Rear from Back of Concrete Pan or Pavement to Building</td> <td align="center">5'</td> </tr> </table> <p>Notes:</p> <ol style="list-style-type: none"> 1. All sides fronting a public road shall have a ten foot (10') setback. 2. Duplex and townhome structures are to have a zero foot setback from party walls. 	Multi-family Building Setback (measured from building foundation wall)		Front from Tract Property Line	10'	Side from Tract Property Line	10'	Side from Back of Concrete Pan or Pavement on Alley / Internal Access Drive	10'	Rear from Back of Concrete Pan or Pavement to Garage	18'	Rear from Back of Concrete Pan or Pavement to Building	5'
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Rear from Back of Concrete Pan or Pavement to Garage	18'												
Rear from Back of Concrete Pan or Pavement to Building	5'												

<p>Building Setbacks (cont.)</p>	<p>3. Reference Minimum Building Separation.</p> <p>4. At-grade patios may extend beyond the side or rear setback line.</p> <p>5. Eaves and roof overhangs may extend beyond a setback line not more than three feet (3'), and in no case closer than three feet (3') to any lot line.</p> 
<p>Wetland / Riparian Setback</p>	<p>Twenty five feet (25') for all permanent structures and development activities (grading, staging, etc.).</p>
<p>Minimum Building Separation</p>	<p>Fifteen feet (15') measured from foundation wall to foundation wall.</p>
<p>Maximum Building Height</p>	<p>Thirty-five feet (35') as measured from the average of the finished grade of the four corners of the building to the highest vertical point of the roof.</p>
<p>Parking Requirement</p>	<ul style="list-style-type: none"> • Two (2) parking spaces per 2-bedroom and 3-bedroom multi-family units. • One (1) visitor parking space per every six (6) units.

2.3 Construction and Sales Uses:

(a) All Planning Areas

- i. **Construction Uses.** Construction Uses related to the construction of infrastructure and buildings shall be permitted in accordance with Town Codes within each of the Planning Areas in which construction is taking place. A Construction Management Plan will be submitted to the Town for all construction activities. The plan shall include areas defined for material storage, construction trailers, portable chemical toilets, construction dumpsters, temporary power and excavation material stockpiles. The boundary of the Construction Disturbance Area must be shown on the plan and must be fenced prior to commencement of any construction activity.
- ii. **Sales and Leasing Uses.** Sales and Leasing Uses related to the Developer sales or leasing of Smith Ranch real estate projects shall be permitted on the Property. All Dwelling Units may be used as Model Homes/Units in Planning Areas 1, 2, 3 and 7.

2.4 Density Limitations:

- (a) **Dwelling Units.** Dwelling Units are the only land uses within the Property to which density limitations are applied.
- (b) **Permitted Density.** There shall be no more than two hundred forty (240) Dwelling Units within Planning Areas 1, 2 and 7. There shall be no more than one hundred forty one (141) Dwelling Units within Planning Area 3.
- (c) Administrative density transfer between Planning Areas shall be permitted to up to fifteen percent (15%).

ARTICLE THREE: INFRASTRUCTURE

1.1 Road Design

- (a) The design, alignment and designations of all Roads and Driveways shall be in accordance with the requirements of the Code, except as set forth otherwise below and on Exhibits E-K attached.
- (b) There shall be snow storage easements on the exterior of the public rights-of-way if Town standards are not met, as depicted on Exhibits E-K. Landscape may be planted in the right-of-way. Landscape maintenance is described in the declarations and covenants for Smith Ranch Neighborhood.
- (c) Final road grade design will be subject to approval at time of preliminary subdivision.
- (d) Public street right of ways will be fifty feet (50') in width with five foot (5') snow stack easements on each side. Road widths are proposed to have an asphalt width of twenty-two feet (22'), excluding drainage pans, curb, gutter and / or shoulders.
- (e) A six foot (6') sidewalk may be provided on Roads in locations as shown in Exhibit D. Internal sidewalks or trails will be provided for primary pedestrian connection routes as conceptually shown in this exhibit.
- (f) Alleys and private drives shall have a minimum separation of one hundred feet (100') from public road intersections. This does not include internal parking lot drives.

1.2 Alley Design

- (a) Alley easements will be twenty-five feet (25') in width, with sixteen feet (16') - eighteen feet (18') of pavement surface. Drainage conditions may vary.

1.3 Driveway Design

- (a) Driveways for duplexes will be a maximum of forty-eight feet (48') in width.
- (b) Driveways for single family homes will be a maximum of twenty (20') in width.
- (c) Driveway access for duplexes, townhomes and multi-family units off public and / or local access roads must be separated by a minimum of fifteen feet (15').

1.4 Parking

- (a) On-street parking is allowed on all public roads in designated areas as identified in approved subdivision documents and plans or as approved by the Public Works Director.
- (b) On-street parking is allowed on all private streets or drives in designated spaces and/or areas at the Shops at Smith Ranch only.
- (c) Visitor parking may be located in the driveway in front of the garage door, in designated guest parking spaces, or on the roads and private drives in accordance with Section 3.4 (a) and (b). See cross sections Exhibits H, I and J.
- (d) All on-street parking will be signed to allow for maintenance and snow removal.
- (e) Minimum parking requirements must be accommodated on-site for residential units, meeting the dimensional requirements of Section 4-6-10 of the Town Code.
- (f) Parking is not permitted within the Town Rights of Way except in designated parking spaces and/or areas.
- (g) Landscaped parking lot islands shall have no minimum width. Landscape substitutions may be permitted when approved during the site plan review process (ex. Three (3) shrubs is equivalent to one (1) tree), ornamental grasses may be substituted for shrubs, etc...

1.5 Trail Use

- (a) Recreational trails will be constructed within the Property and may be dedicated to the Town for use as public trails. The specific locations and easements of public trails are to be determined at the time of Subdivision. The use of motorized vehicles (except motorized vehicles necessary for maintenance) shall not be permitted on any recreational trail within the Property.

ARTICLE FOUR: ARCHITECTURAL DESIGN STANDARDS

The following architectural design standards are for residential design only. Design standards for commercial and public facilities buildings shall follow the Destination Commercial Design District Standards.

1.1 General

- (a) The structures at the Smith Ranch Neighborhood will recall the simple, functional and additive nature of historic ranch structures without being overly referential. Each building will have a primary volume, most often with a gable roof, with attached "saddle bags." The intent is to create architecture that fits the Smith Ranch site, connects to the history of Silverthorne and responds to the needs of contemporary living.
- (b) Structures will face streets and public greens whenever possible with alley accessed garages and parking. Only where necessary will garages face the street.
- (c) All structures in the Smith Ranch Neighborhood will have an entry porch. Most structures will have the entry porch on the primary street or public green elevation. In some locations the entry porch will occur on the side elevation of the structure but it will be visible from the street.

1.2 Massing

- (a) Smith Ranch Neighborhood: With the exception of structures with tuck under garages constructed on steeply sloping portions of the site all buildings will be two stories in height. All buildings will have attached one story volumes to moderate the scale of the structure.

1.3 Building Height

- (a) Building height shall be measured as described in Figure 2-1 for each respective Planning Area.

1.4 Roof Forms

- (a) Roofs at the Smith Ranch Neighborhood will be predominantly gable and shed forms. Most structures will have a primary gable roof with gable or shed roofs over smaller volumes. All roofs will have an overhang. Overhang depth will vary between twelve and thirty inches. Roof pitch for gable roofs will vary between 4 / 12 and 10 / 12. Pitch for shed roofs will vary between 3 / 12 and 8 / 12.
- (b) At the Shops at Smith Ranch, where flat roofs are necessitated by height restrictions, architectural features shall be encouraged to add visual interest and appropriate mountain character. Examples of architectural features include overframed gables, sheds, dormers and awnings. Such elements are allowed to extend above the allowed roof height, per Figure 2.1, PA-3.

1.5 Roof Materials

- (a) Smith Ranch Neighborhood: Roofs will primarily be covered with dimensional asphaltic composition shingles. In extremely limited locations roofs may be covered with corrugated metal screw down panels.

1.6 Fenestration

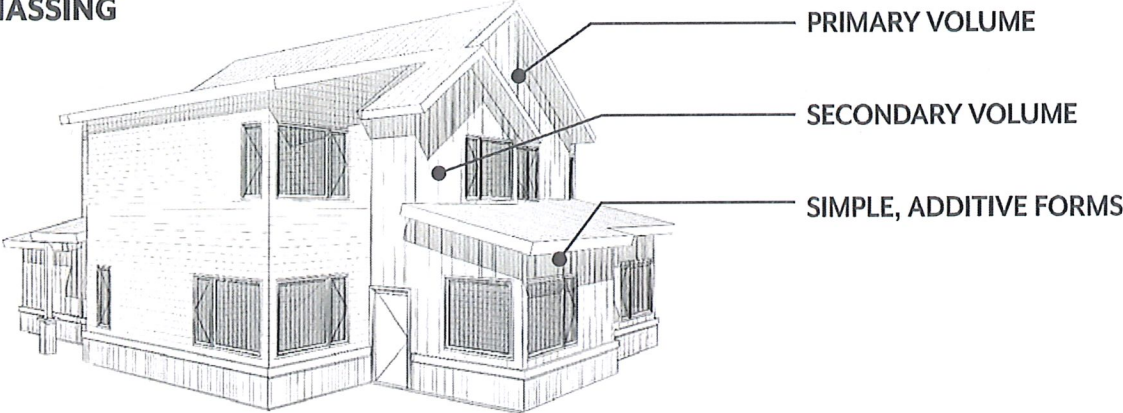
- (a) Windows will vary in size, configuration and operation. Windows in living spaces on the ground floor will face outdoor living areas at the front, rear and occasionally at the side of the structure. Faux mullions and muntins will not be used.

1.7 Exterior Cladding Materials

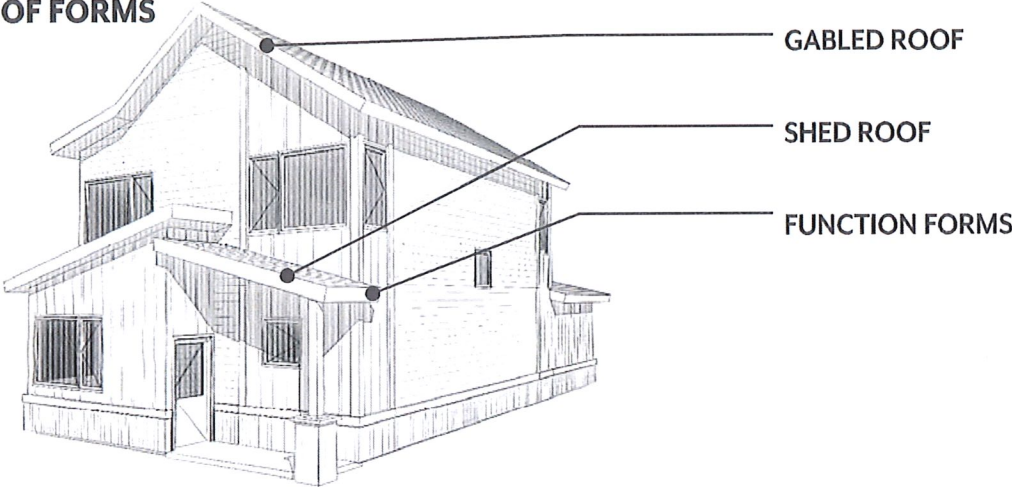
- (a) Smith Ranch Neighborhood: Walls are to be clad with durable, low maintenance materials. Cladding material palette may include the following:
 - i. Cement fiber lap siding in a variety of exposures and patterns.

- ii. Cement fiber panel siding and cement fiber batten strips in a variety of widths and at a varying spacing.
 - iii. Corrugated metal panels with varying finish.
- (b) Shops at Smith Ranch: Walls shall follow the Destination Commercial guidelines with the addition of permitting metal panel systems.
- (c) Architectural color palette shall be rich, utilizing a depth of colors more robust than standard earth tones. Color shall be used to enhance architectural form, create contrast and variety.

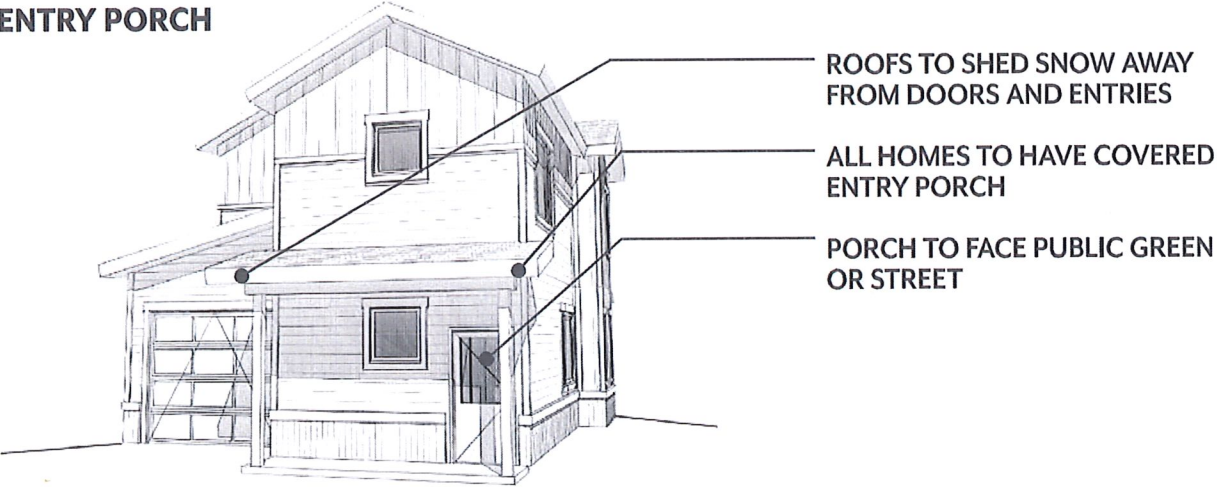
MASSING



ROOF FORMS



ENTRY PORCH



ARTICLE FIVE: LANDSCAPE DESIGN STANDARDS

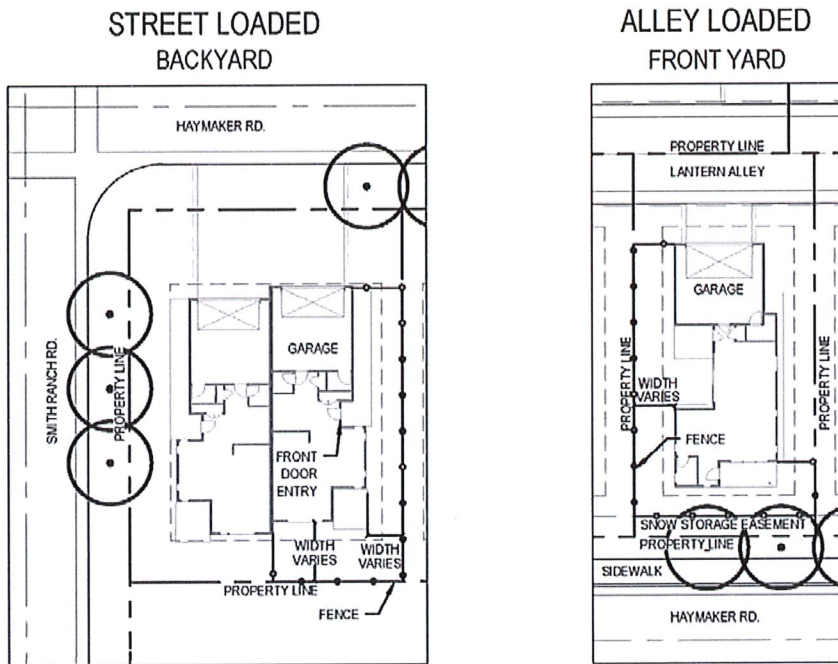
1.1 General

- (a) Landscape requirements will follow the Town Code with the exception of Planning Area 1, Planning Area 2, Planning Area 3 and Planning Area 7. Landscaping provided in the right-of-way shall count towards meeting the required per-dwelling-unit landscape requirements as specified in the Town Code.
- (b) Landscape buffer shall be provided along the north side of Ruby Ranch Road, along Highway 9 and Adams Avenue.

1.2 Fencing

- (a) Open Space Fencing may be used to separate PA-1 from PA-5 and PA-6 to create distinct backyards for the single family and duplex homes. The fence is to fit with the Smith Ranch character.
 - i. Fence shall not exceed 4' in height.
- (b) Private Yard Fencing may be used to delineate yards as shown in Figure 1.
 - i. Fence shall not exceed 4' in height.
 - ii. Material shall be rough hewn cedar.
 - iii. Fence may have wire mesh between rails or be open.
 - iv. No private yard fencing permitted in PA-2 or PA-7.

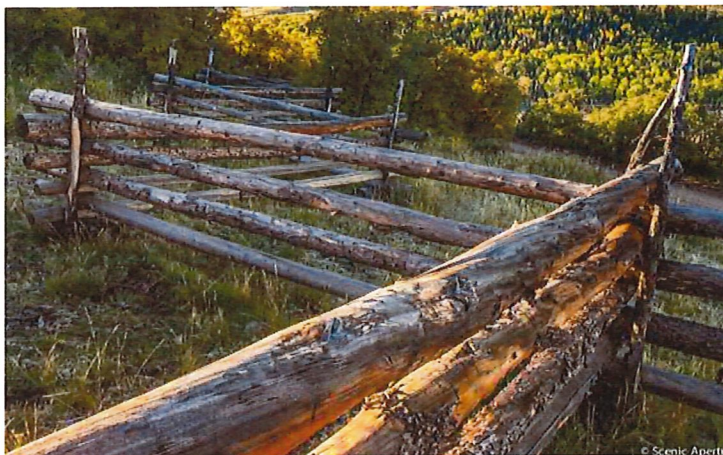
Figure 1:



Notes:

1. Fencing is permitted in a front yard only when the home is located between (1) an alley and public road, or (2) an alley and private open space. Permitted front yard fencing locations are shown in Figure 2.
2. Fence shall be located along the property line or snow storage easement, whichever is more restrictive.
3. Fences shall align with building corners where feasible.
4. Properties with shared property lines shall share fences.

Figure 2:



Conceptual character for open space fencing.

1.3 Fence Gate

- (a) Gate shall be 3-4' in width.
- (b) Material shall be rough hewn timber and match private yard fencing.

1.4 Signage

- (a) Entry monumentation and wayfinding may be located in any planning area.
- (b) Sign design shall follow standards of the Town Code with the exception of permitting sandwich board signage, for commercial businesses.



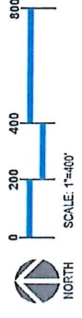
Required character for private yard gate.



Required character for private yard fencing.



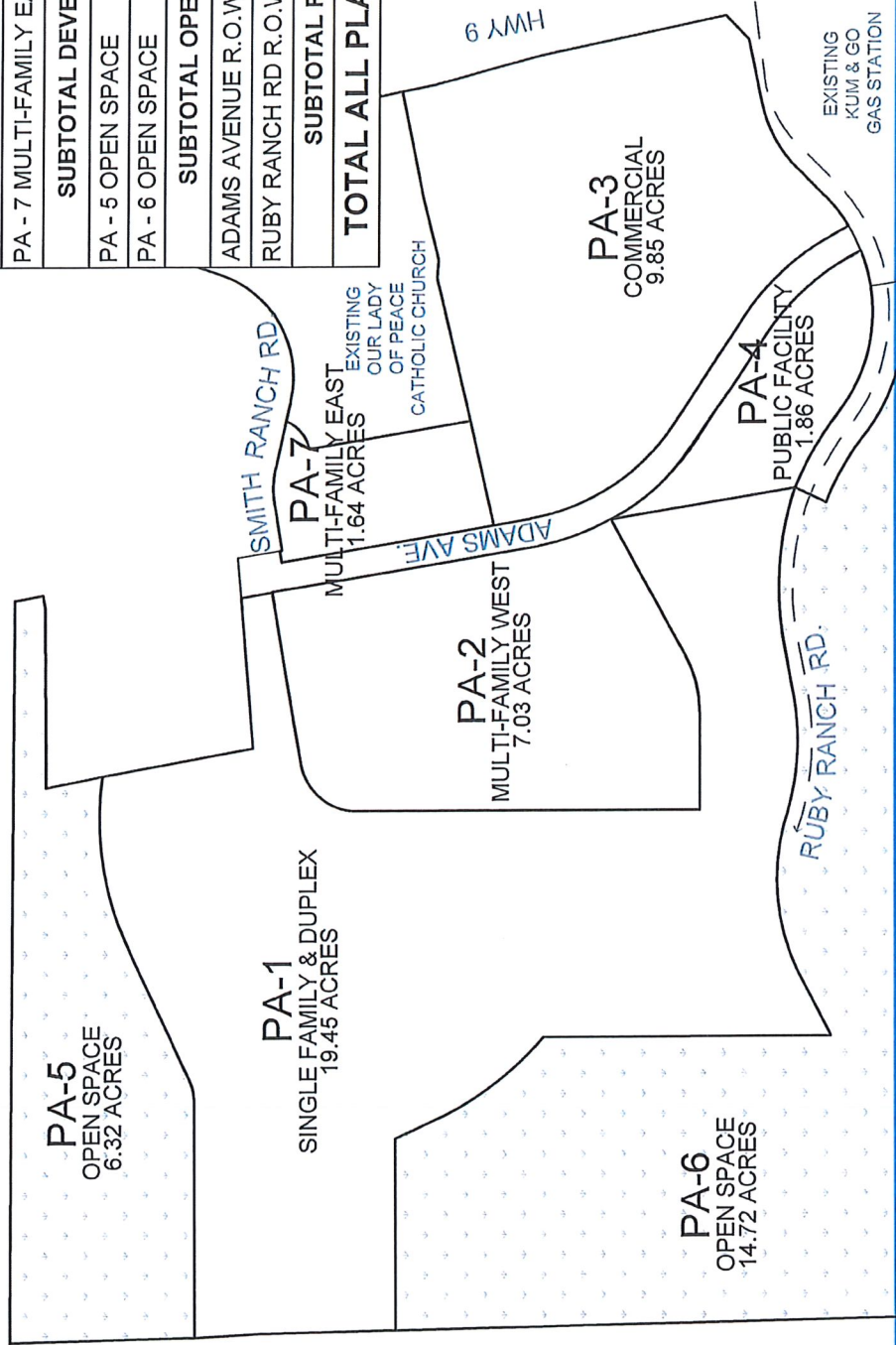
EXHIBIT A
EXISTING CONDITIONS
 04.02.21



- NOTES:**
1. EXHIBIT SHOWS EXISTING CONDITIONS ONLY. SUBJECT TO CHANGE.
 2. DRAWINGS ARE TO SCALE WHEN PRINTED ON 11 X 17 SIZE PAPER.

PLANNING AREAS	LEGEND	ACRES	UNITS
PA - 1 SINGLE FAMILY & DUPLEX		19.45	140 MAX.
PA - 2 MULTI-FAMILY WEST		7.03	76 MAX.
PA - 3 COMMERCIAL		9.85	141 MAX.
PA - 4 PUBLIC FACILITY		1.86	-
PA - 7 MULTI-FAMILY EAST		1.64	24 MAX.
SUBTOTAL DEVELOPMENT AREA		39.83	-
PA - 5 OPEN SPACE		6.32	-
PA - 6 OPEN SPACE		14.72	-
SUBTOTAL OPEN SPACE AREA		21.04	-
ADAMS AVENUE R.O.W.		1.55	-
RUBY RANCH RD R.O.W.		0.55	-
SUBTOTAL R.O.W. AREA		2.10	-
TOTAL ALL PLANNING AREAS		62.97	-

NOTE 1: PLANNING AREAS NOTED ON THE PUD ARE APPROXIMATE AND MAY BE ADMINISTRATIVELY MODIFIED UP TO FIFTEEN PERCENT (15%) IN AREA DURING ACTUAL SUBDIVISION OF THE LAND.



- NOTES:
1. EXHIBIT SHOWS CONCEPTUAL LOCATION OF PLANNING AREAS ONLY. SUBJECT TO CHANGE.
 2. DRAWINGS ARE TO SCALE WHEN PRINTED ON 11 X 17 SIZE PAPER.

EXHIBIT B
PLANNING AREAS
04.02.21



LEGEND







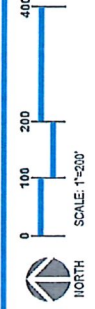
-  COLLECTOR ROAD
-  LOCAL ROAD
-  TOWNHOME ALLEY / PRIVATE DRIVE
-  EMERGENCY VEHICLE ACCESS
-  ALLEY
-  PROPERTY LINE



EXHIBIT C
ROADS
04.02.21



- NOTES:
1. EXHIBIT SHOWS CONCEPTUAL LOCATION OF COLLECTOR, LOCAL, PRIVATE AND ALLEY ROADS ONLY, SUBJECT TO CHANGE.
 2. PROPOSED ROAD NAMES TO BE DETERMINED AT A LATER DATE AND WILL BE FINALIZED WITH PLAT.
 3. DRAWINGS ARE TO SCALE WHEN PRINTED ON 11 X 17 SIZE PAPER.

LEGEND

— CONCRETE SIDEWALK
6' WIDE

- - - COMMUNITY TRAIL
(HARD OR SOFT SURFACE)
4' - 8' WIDE

⋯ NATURAL SURFACE TRAIL
2' WIDE

- - - PROPERTY LINE



AMENITY



TRAILHEAD

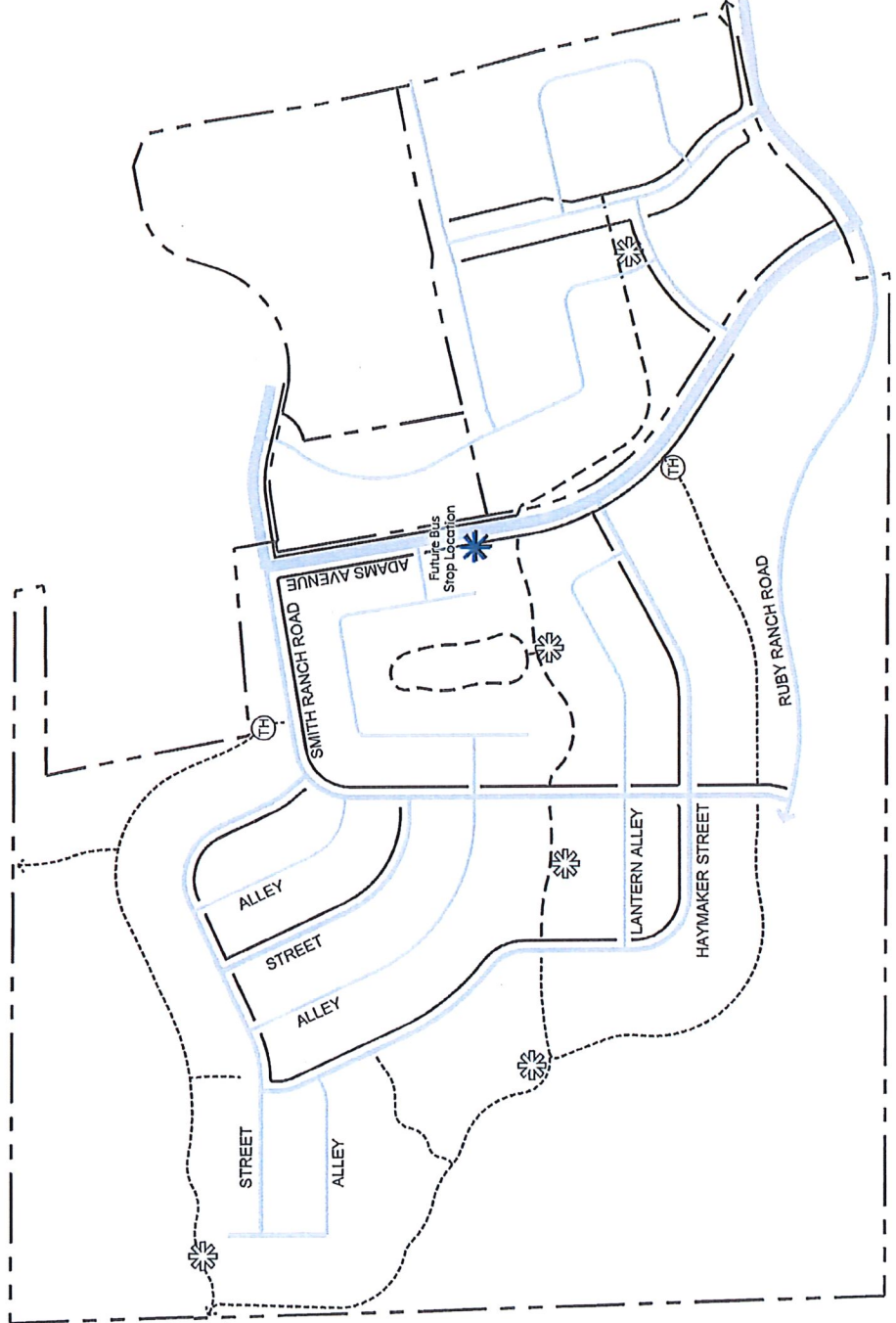
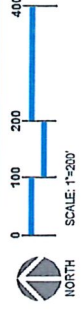


EXHIBIT D
PRELIMINARY PEDESTRIAN CONNECTIONS
04.02.21



- NOTES:**
1. EXHIBIT SHOWS CONCEPTUAL LOCATION OF PEDESTRIAN SIDEWALKS, TRAILS, TRAILHEADS, AND AMENITIES ONLY; SUBJECT TO CHANGE.
 2. DRAWINGS ARE TO SCALE WHEN PRINTED ON 11 X 17 SIZE PAPER.
 3. PROPOSED ROAD NAMES TO BE DETERMINED AT A LATER DATE AND WILL BE FINALIZED WITH PLAT.

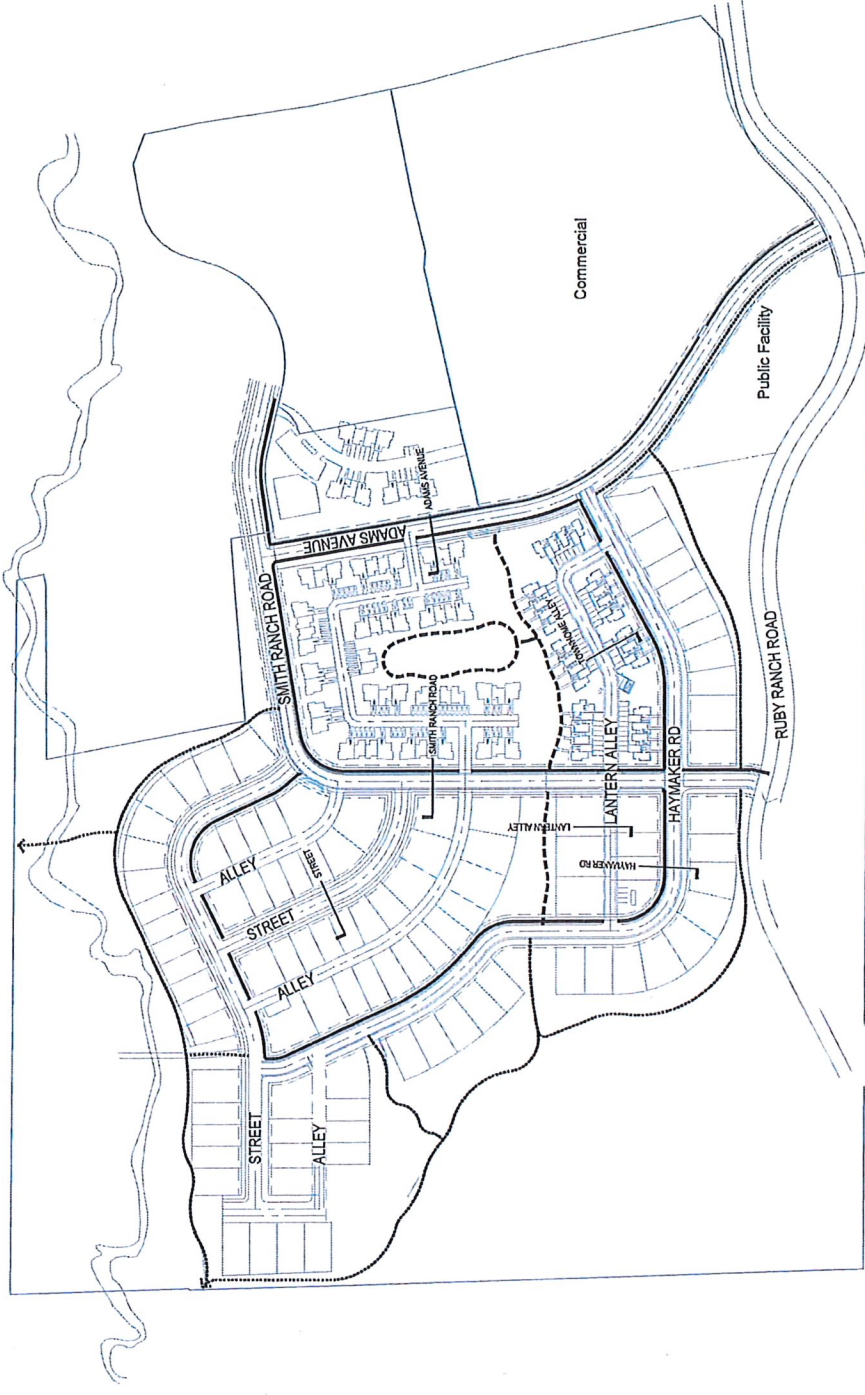
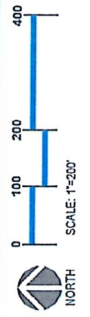


EXHIBIT E
CROSS SECTIONS KEY MAP
 04.02.21



NOTES:
 1. PRELIMINARY CROSS SECTIONS ARE SUBJECT TO CHANGE AND PROVIDED TO ILLUSTRATE PROPOSED DIMENSIONAL STANDARDS FOR SMITH RANCH.
 2. PROPOSED ROAD NAMES TO BE DETERMINED AT A LATER DATE AND WILL BE FINALIZED WITH PLAT.
 3. DRAWINGS ARE TO SCALE WHEN PRINTED ON 11 X 17 SIZE PAPER

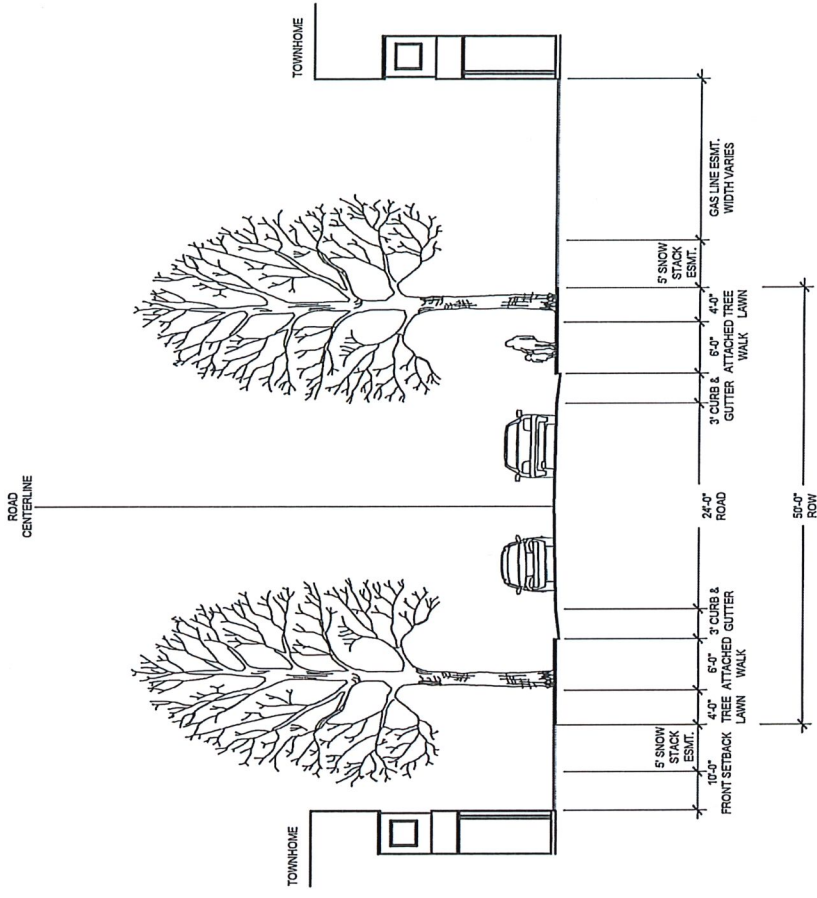
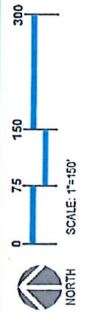


EXHIBIT F
 PRELIMINARY CROSS SECTIONS | ADAMS AVE
 04.02.21



- NOTES:
1. CURB AND GUTTER DRAIN PLANS TO BE DETERMINED AT TIME OF SITE PLAN
 2. PARALLEL PARKING LOCATIONS TO BE DETERMINED AT SITE PLAN.
 3. CROSS SECTIONS ARE PRELIMINARY AND SUBJECT TO CHANGE DURING THE SITE PLAN PROCESS.

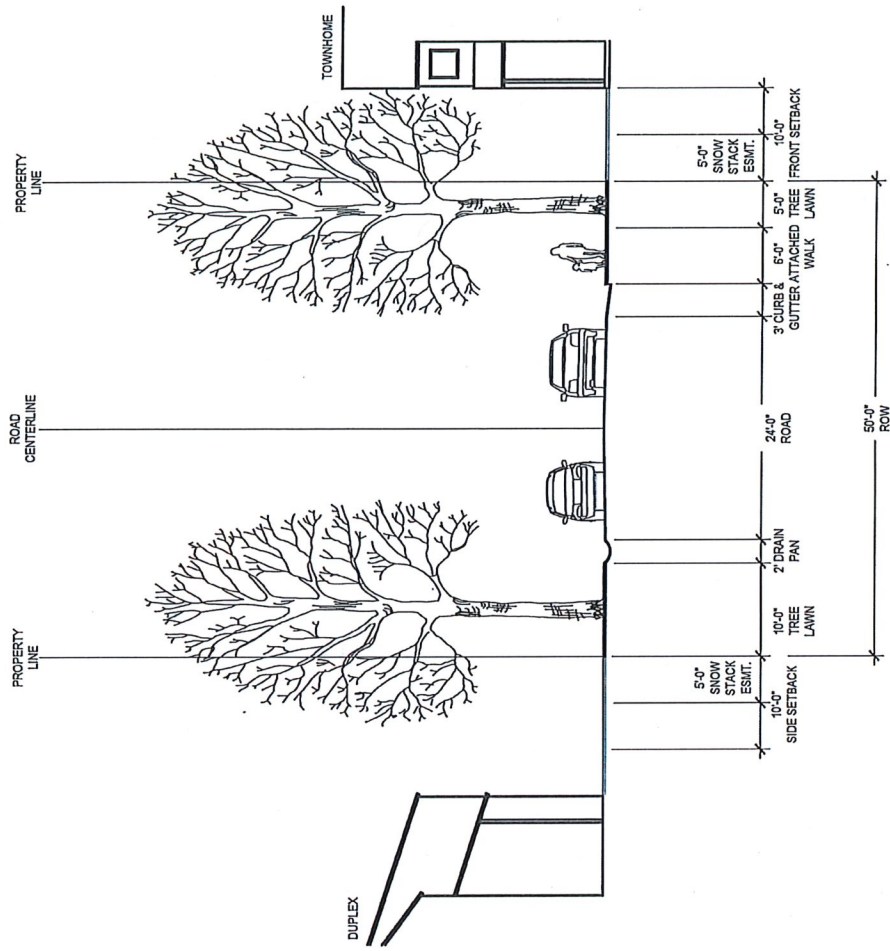
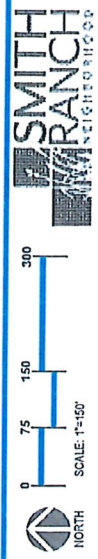


EXHIBIT G
PRELIMINARY CROSS SECTIONS | SMITH RANCH ROAD
 04.02.21



- NOTES:
1. CURB AND GUTTER DRAIN PLANS TO BE DETERMINED AT TIME OF SITE PLAN
 2. PARALLEL PARKING LOCATIONS TO BE DETERMINED AT SITE PLAN.
 3. CROSS SECTIONS ARE PRELIMINARY AND SUBJECT TO CHANGE DURING THE SITE PLAN PROCESS.

PLAN VIEW

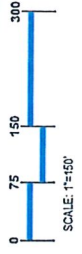
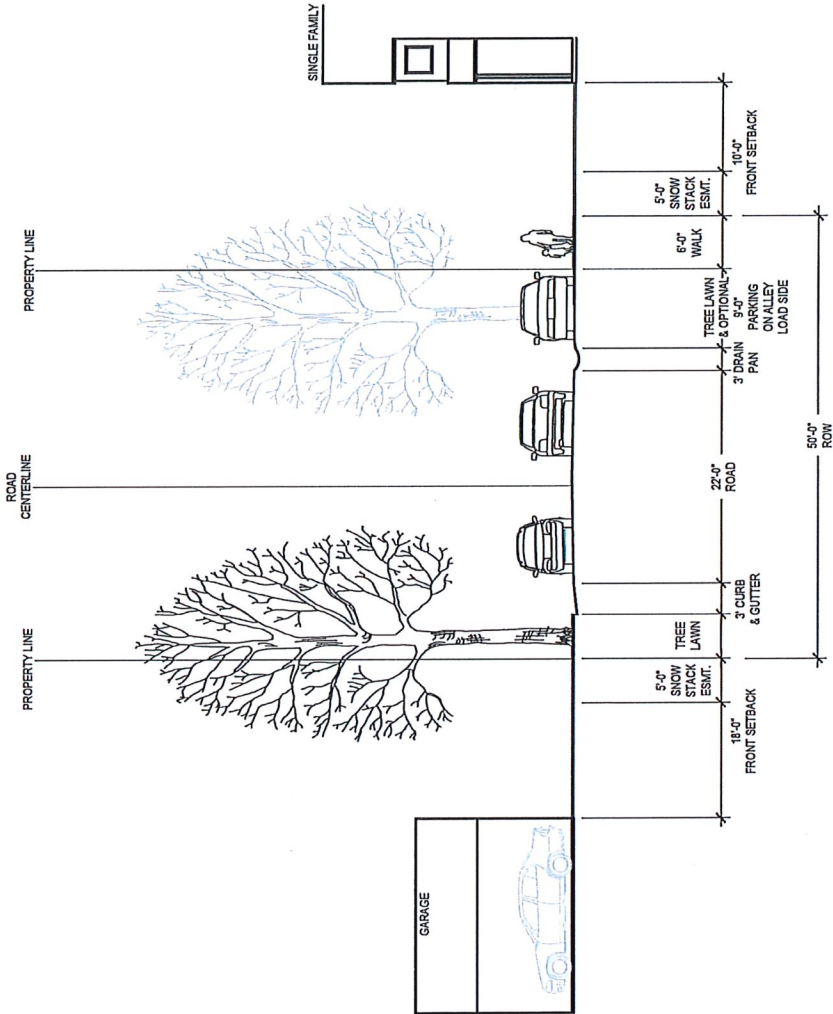
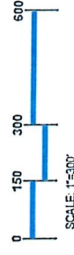
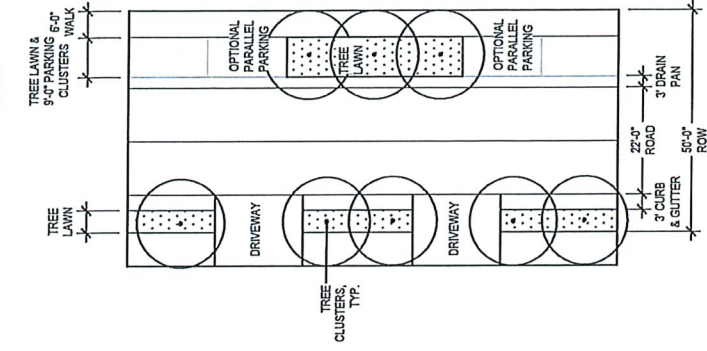


EXHIBIT H
PRELIMINARY CROSS SECTIONS | HAYMAKER ROAD
 04.02.21



- NOTES:**
1. CURB AND GUTTER DRAIN PLANS TO BE DETERMINED AT TIME OF SITE PLAN
 2. PARALLEL PARKING LOCATIONS TO BE DETERMINED AT SITE PLAN.
 3. CROSS SECTIONS ARE PRELIMINARY AND SUBJECT TO CHANGE DURING THE SITE PLAN PROCESS.

PLAN VIEW

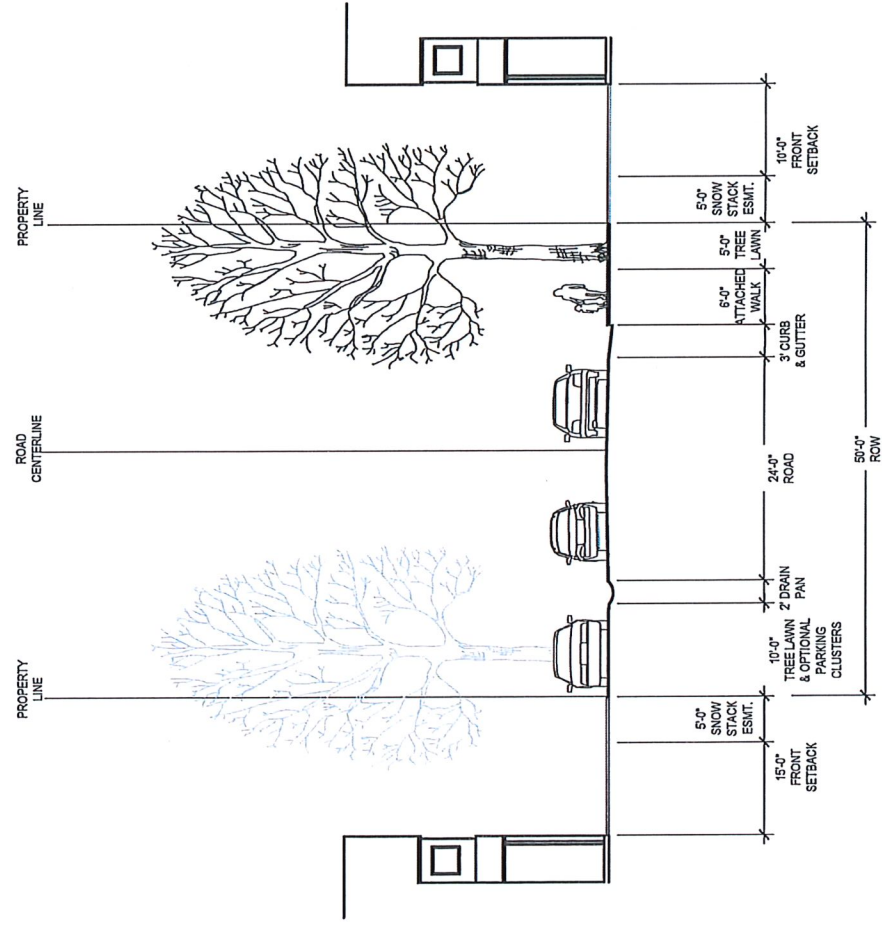
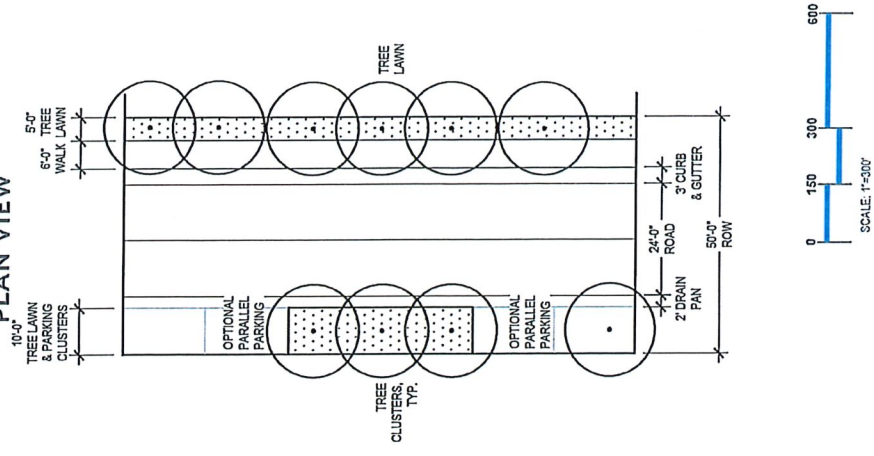
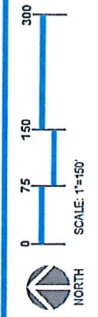


EXHIBIT I
PRELIMINARY CROSS SECTIONS | STREET
04.02.21



- NOTES:**
1. CURB AND GUTTER DRAIN PLANS TO BE DETERMINED AT TIME OF SITE PLAN
 2. PARALLEL PARKING LOCATIONS TO BE DETERMINED AT SITE PLAN.
 3. CROSS SECTIONS ARE PRELIMINARY AND SUBJECT TO CHANGE DURING THE SITE PLAN PROCESS.

PLAN VIEW

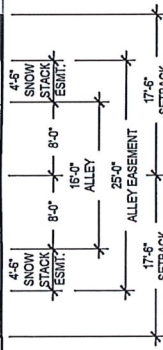
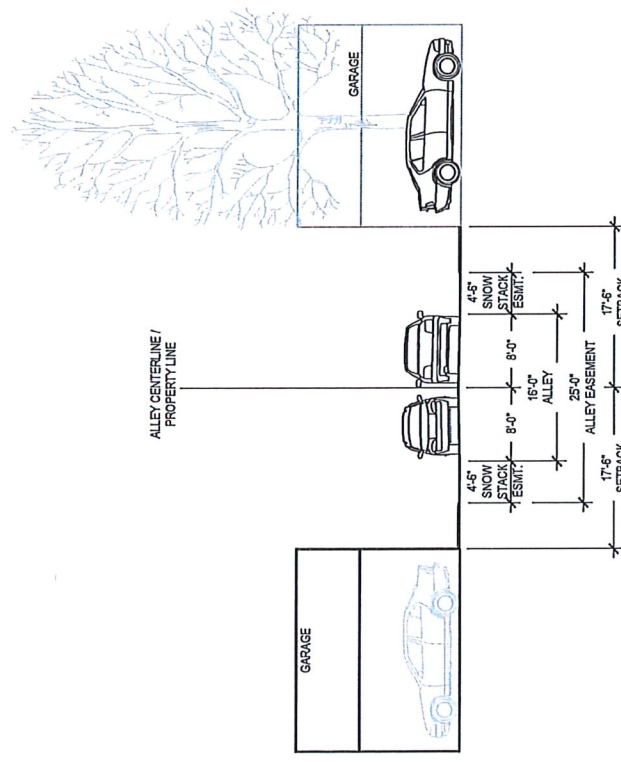
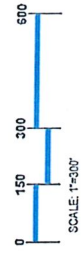
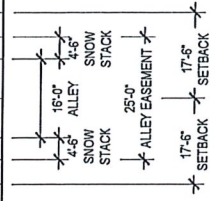
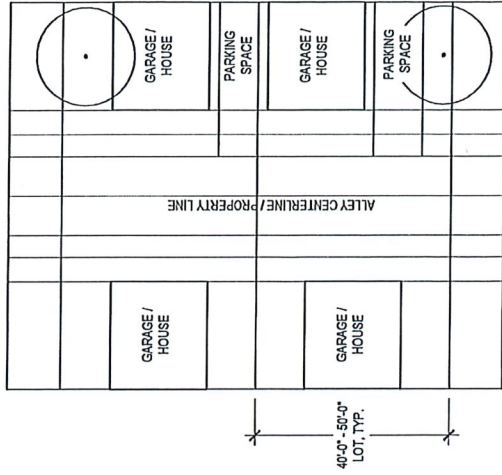


EXHIBIT J
PRELIMINARY CROSS SECTIONS | LANTERN ALLEY
04.02.21



- NOTES:
1. CURB AND GUTTER DRAIN PLANS TO BE DETERMINED AT TIME OF SITE PLAN
 2. PARALLEL PARKING LOCATIONS TO BE DETERMINED AT SITE PLAN.
 3. CROSS SECTIONS ARE PRELIMINARY AND SUBJECT TO CHANGE DURING THE SITE PLAN PROCESS.

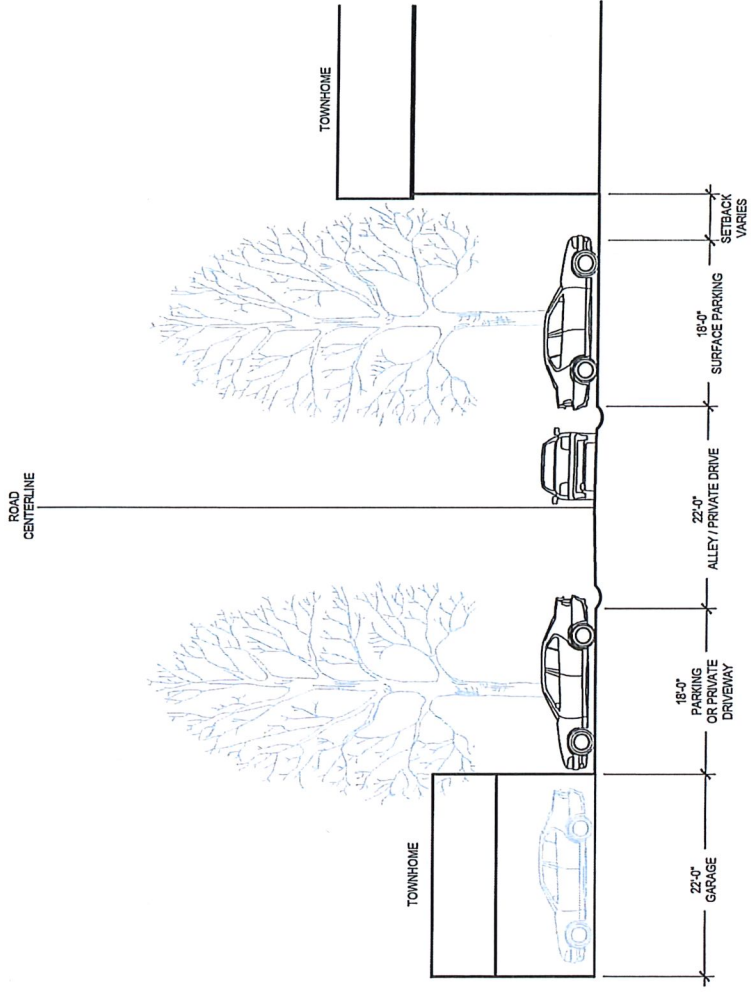
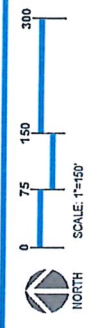


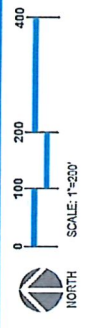
EXHIBIT K
 PRELIMINARY CROSS SECTIONS | TOWNHOME ALLEY / PRIVATE DRIVE
 04.02.21



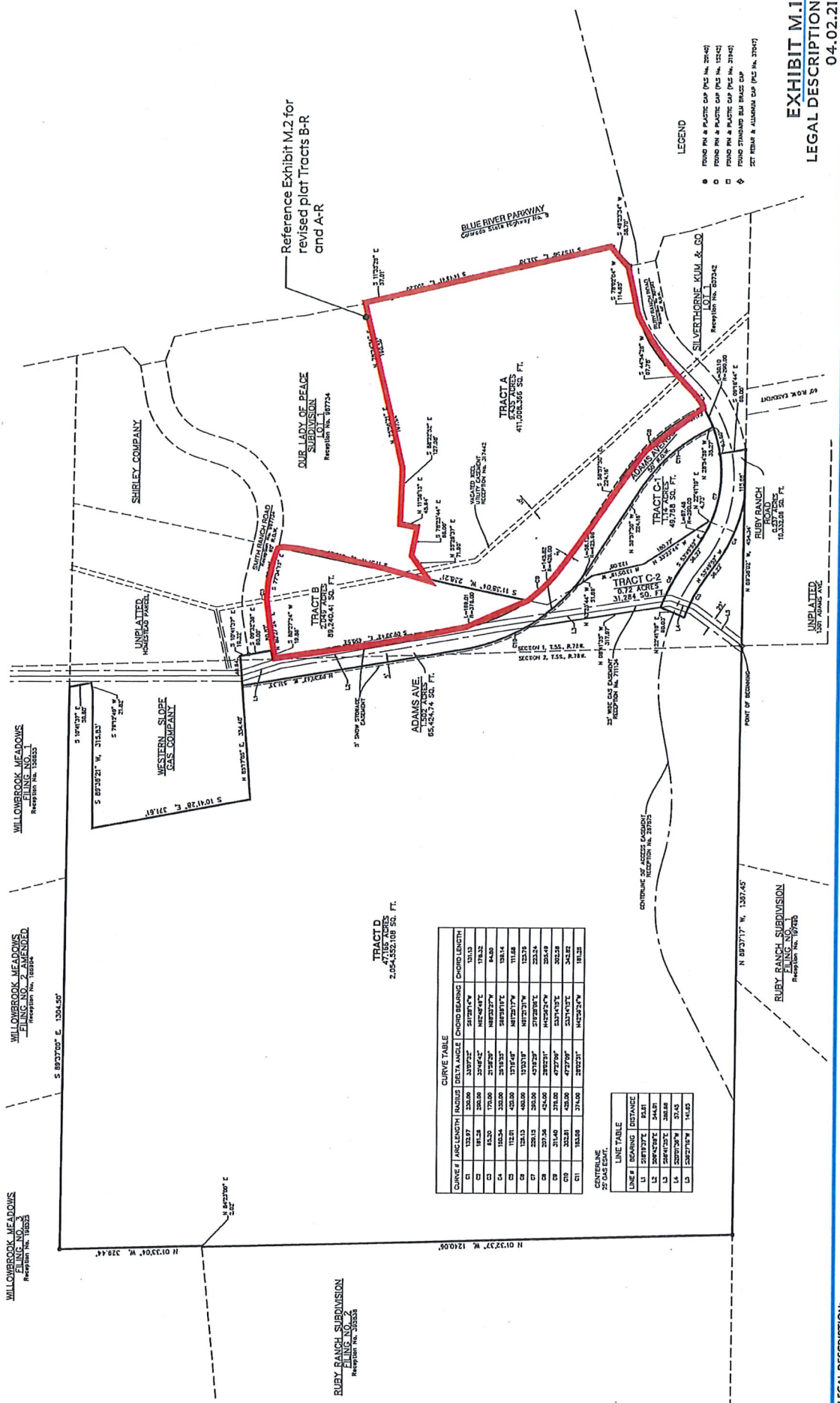
- NOTES:
1. RBG AND GUTTER DRAIN PLANS TO BE DETERMINED AT TIME OF SITE PLAN
 2. PAVED PARKING LOCATIONS TO BE DETERMINED AT SITE PLAN.
 3. CROSS SECTIONS ARE PRELIMINARY AND SUBJECT TO CHANGE DURING THE SITE PLAN PROCESS.
 4. SEE PRD ARTICLE 3 FOR STANDARD SETBACKS.
 5. SEE LANDSCAPE PLANS FOR SNOW STACK AREAS.



EXHIBIT I
ILLUSTRATIVE SITE PLAN
 04.02.21



NOTES:
 1. THIS PLAN IS CONCEPTUAL. FOR ILLUSTRATIVE PURPOSES ONLY AND SUBJECT TO CHANGE.
 2. PROPOSED ROAD NAMES TO BE DETERMINED AT A LATER DATE AND WILL BE FINALIZED WITH PLAT.



Reference Exhibit M.2 for revised plat Tracts B-R and A-R

TRACT D
47,165 ACRES
2,094,452,109 SQ. FT.

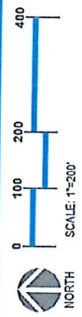
CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	152.97	250.00	337.92°	S 87°21'09" W	131.13
C2	181.28	250.00	337.92°	S 87°21'09" W	178.22
C3	65.20	175.00	217.82°	N 82°23'27" E	84.80
C4	115.21	425.00	171.64°	N 87°23'17" E	126.14
C5	125.13	425.00	171.64°	N 87°23'17" E	111.18
C6	211.49	375.00	47.72°	S 87°23'17" E	223.24
C7	322.81	425.00	47.72°	S 87°23'17" E	356.48
C8	155.09	274.00	382.53°	N 82°23'27" E	181.28

LINE #	BEARING	DISTANCE
L1	S 87°23'17" E	131.13
L2	S 87°23'17" E	178.22
L3	N 82°23'27" E	84.80
L4	N 87°23'17" E	126.14
L5	N 87°23'17" E	111.18
L6	S 87°23'17" E	223.24
L7	S 87°23'17" E	356.48
L8	N 82°23'27" E	181.28

LEGEND

- PIONEER PIN & PLASTIC CAP (PAC) (IN. 20143)
- PIONEER PIN & PLASTIC CAP (PAC) (IN. 20143)
- PIONEER PIN & PLASTIC CAP (PAC) (IN. 20143)
- ◇ PIONEER PIN & PLASTIC CAP (PAC) (IN. 20143)
- ⊕ SET PIONEER PIN & ALUMINUM CAP (PAC) (IN. 20147)

EXHIBIT M.1
LEGAL DESCRIPTION
04.02.21



LEGAL DESCRIPTION:
A PARCEL OF LAND IN THE NORTHWEST 1/4 SECTION 1 AND THE NORTHEAST 1/4 SECTION 2, TOWNSHIP 5 SOUTH, RANGE 78 WEST OF THE 6TH P.M.

**A REPLAT OF
TRACT A AND TRACT B SMITH RANCH SUBDIVISION
ACCORDING TO THE PLAT RECORDED UNDER REC. NO. 1168881
AND LOT 1 OUR LADY OF PEACE SUBDIVISION
ACCORDING TO THE PLAT RECORDED UNDER REC. NO. 967284
TOWN OF SILVERTHORNE, SUMMIT COUNTY, COLORADO**

CERTIFICATE OF CORRECTNESS AND APPROVAL
BY THE BOARD OF COUNTY COMMISSIONERS AND AN INDIVIDUAL
MEMBER OF THE BOARD OF COUNTY COMMISSIONERS
OF THE COUNTY OF SUMMIT, COLORADO
PLAT NO. 2023-001

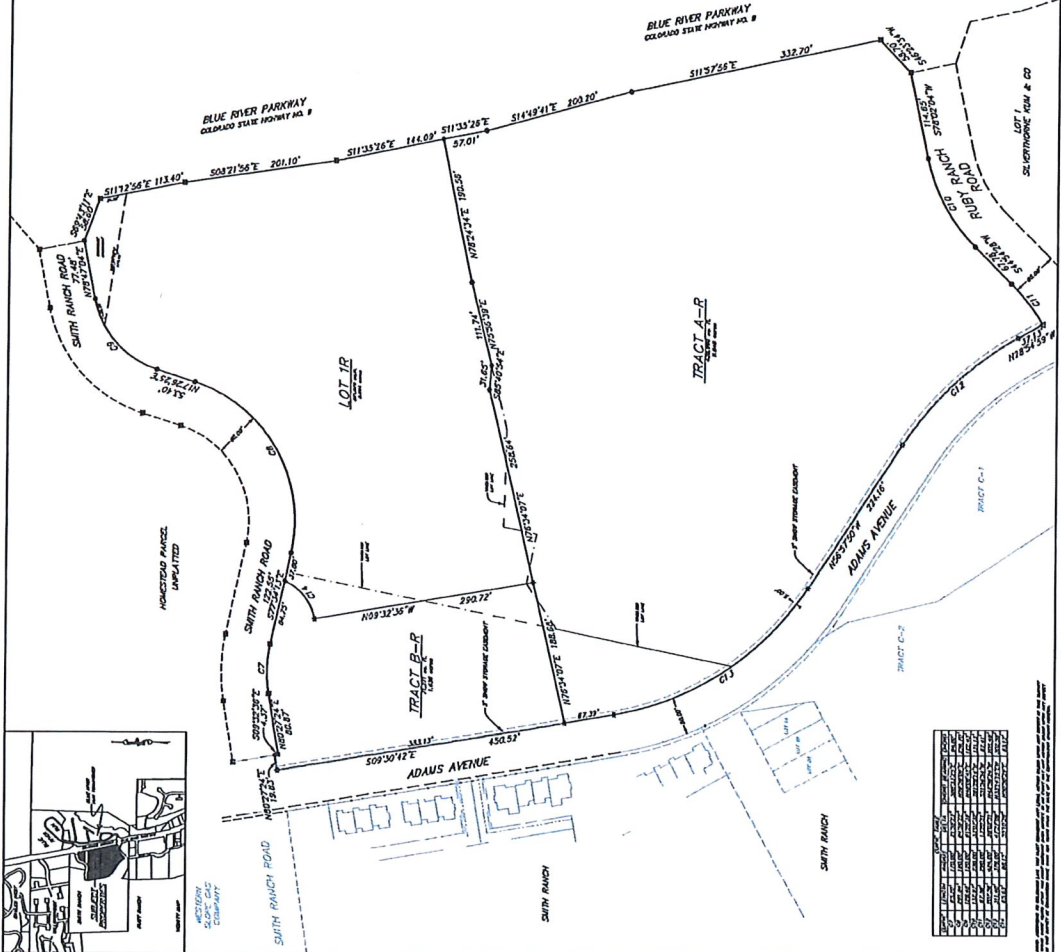
THE BOARD OF COUNTY COMMISSIONERS AND AN INDIVIDUAL
MEMBER OF THE BOARD OF COUNTY COMMISSIONERS
OF THE COUNTY OF SUMMIT, COLORADO
PLAT NO. 2023-001

THE BOARD OF COUNTY COMMISSIONERS AND AN INDIVIDUAL
MEMBER OF THE BOARD OF COUNTY COMMISSIONERS
OF THE COUNTY OF SUMMIT, COLORADO
PLAT NO. 2023-001

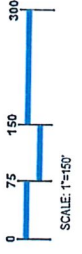
THE BOARD OF COUNTY COMMISSIONERS AND AN INDIVIDUAL
MEMBER OF THE BOARD OF COUNTY COMMISSIONERS
OF THE COUNTY OF SUMMIT, COLORADO
PLAT NO. 2023-001

THE BOARD OF COUNTY COMMISSIONERS AND AN INDIVIDUAL
MEMBER OF THE BOARD OF COUNTY COMMISSIONERS
OF THE COUNTY OF SUMMIT, COLORADO
PLAT NO. 2023-001

THE BOARD OF COUNTY COMMISSIONERS AND AN INDIVIDUAL
MEMBER OF THE BOARD OF COUNTY COMMISSIONERS
OF THE COUNTY OF SUMMIT, COLORADO
PLAT NO. 2023-001



**EXHIBIT M.2
LEGAL DESCRIPTION
04.02.21**



THE BOARD OF COUNTY COMMISSIONERS AND AN INDIVIDUAL
MEMBER OF THE BOARD OF COUNTY COMMISSIONERS
OF THE COUNTY OF SUMMIT, COLORADO
PLAT NO. 2023-001

THE BOARD OF COUNTY COMMISSIONERS AND AN INDIVIDUAL
MEMBER OF THE BOARD OF COUNTY COMMISSIONERS
OF THE COUNTY OF SUMMIT, COLORADO
PLAT NO. 2023-001

THE BOARD OF COUNTY COMMISSIONERS AND AN INDIVIDUAL
MEMBER OF THE BOARD OF COUNTY COMMISSIONERS
OF THE COUNTY OF SUMMIT, COLORADO
PLAT NO. 2023-001

THE BOARD OF COUNTY COMMISSIONERS AND AN INDIVIDUAL
MEMBER OF THE BOARD OF COUNTY COMMISSIONERS
OF THE COUNTY OF SUMMIT, COLORADO
PLAT NO. 2023-001

THE BOARD OF COUNTY COMMISSIONERS AND AN INDIVIDUAL
MEMBER OF THE BOARD OF COUNTY COMMISSIONERS
OF THE COUNTY OF SUMMIT, COLORADO
PLAT NO. 2023-001

THE BOARD OF COUNTY COMMISSIONERS AND AN INDIVIDUAL
MEMBER OF THE BOARD OF COUNTY COMMISSIONERS
OF THE COUNTY OF SUMMIT, COLORADO
PLAT NO. 2023-001

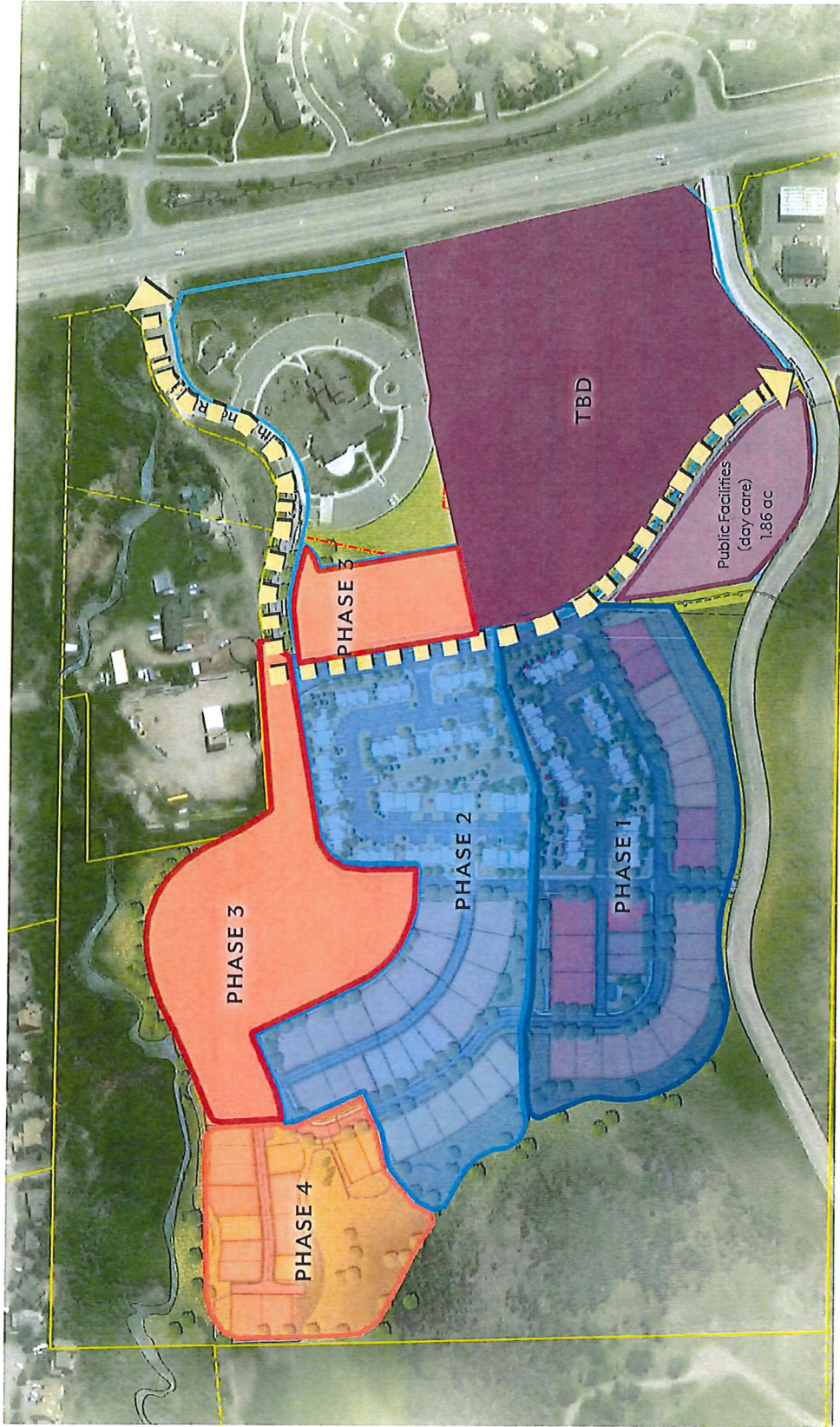

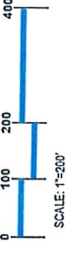
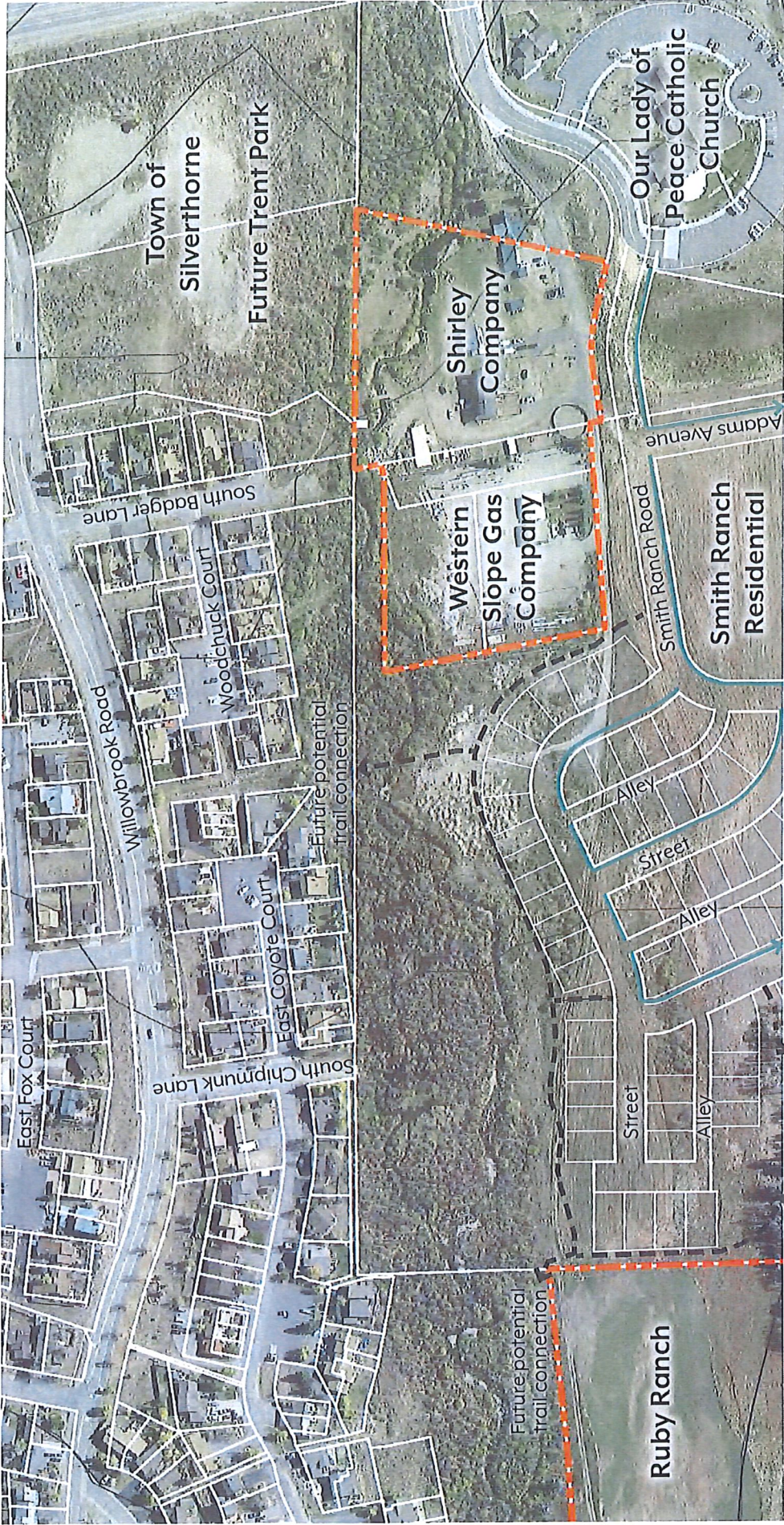


EXHIBIT N
PRELIMINARY PHASING PLAN
04.02.21

NOTES:
 1. THIS PLAN IS CONCEPTUAL. FOR ILLUSTRATIVE PURPOSES ONLY AND SUBJECT TO CHANGE.
 2. PHASING MAY VARY FROM THIS ILLUSTRATION.

 NORTH
 SCALE: 1"=200'
 **SMITH RANCH**
 A DIVISION OF **SMITH GROUP**



- ➔ Natural Surface Trail (2' wide)
- ➔ Concrete Sidewalk (6' wide)
- Town of Silverthorne Limits

EXHIBIT O
FUTURE POTENTIAL TRAIL CONNECTIONS
 04.02.21

NORTH

0 75 150 300

SCALE: 1"=150'

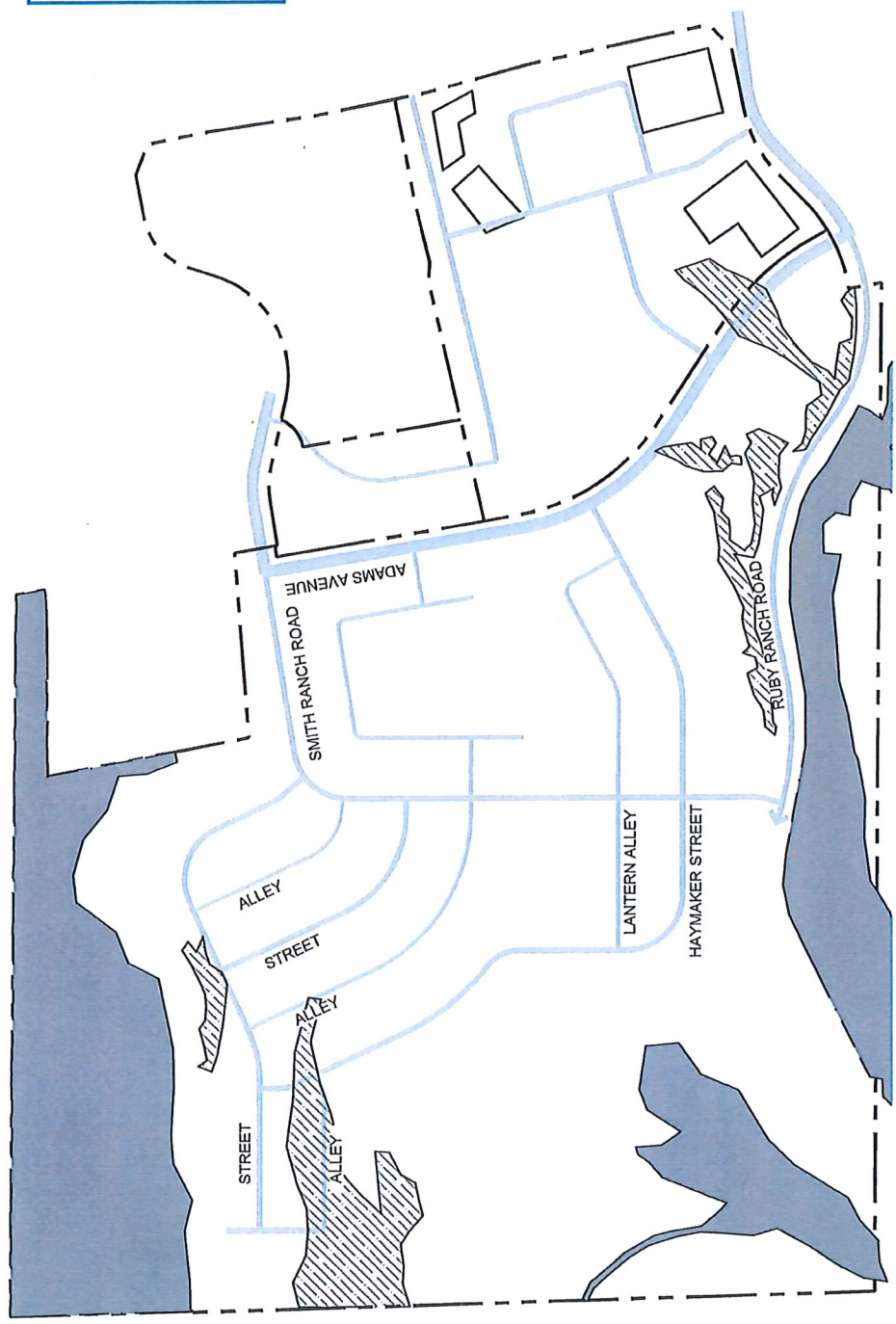
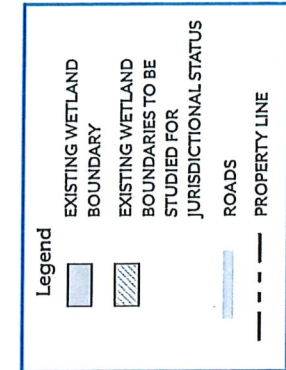
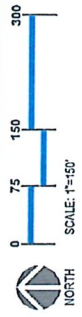


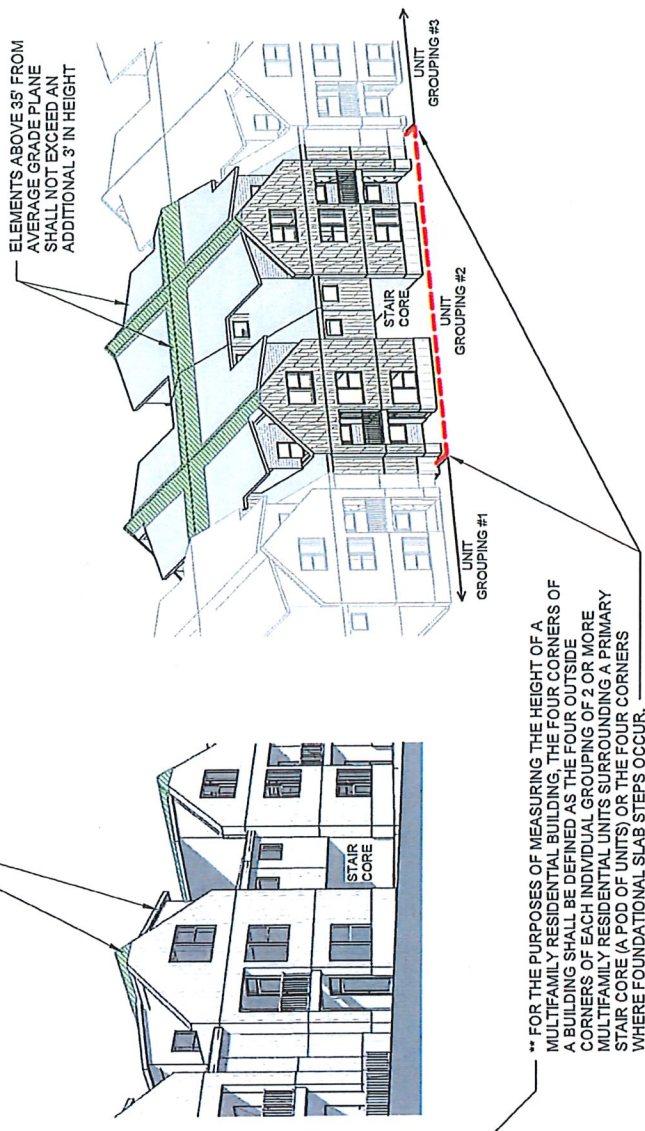
EXHIBIT P
EXISTING WETLAND MAP
 02.2.6.21



NOTES:
 1. WETLAND AREAS SHOWN ARE APPROXIMATE. EXACT WETLAND BOUNDARIES AND JURISDICTIONAL STATUS WILL BE DETERMINED SUMMER OF 2018 BY CLAFFEY ECOLOGICAL CONSULTING, INC.

MAX BUILDING HEIGHT:
 THIRTY-FIVE FEET (35') AS MEASURED FROM THE AVERAGE OF THE FINISHED GRADE OF THE
 FOUR CORNERS OF THE BUILDING TO THE HIGHEST VERTICAL POINT OF THE ROOF. **

ARCHITECTURAL ELEMENTS SUCH AS DECORATIVE
 GABLED OR SHED ROOFS, DORMERS, TOWERS,
 PORTICOS, MECHANICAL EQUIPMENT SCREENING,
 ELEVATOR OR STAIR OVERRUNS, AND OTHER SIMILAR
 OVERFRAMED ELEMENTS MAY EXCEED HEIGHT LIMITS
 BY UP TO THREE FEET (3').



NOTE: ALL IMAGES HERE ARE FOR
 ILLUSTRATIVE PURPOSES ONLY. FINAL
 DESIGN SHALL BE DETERMINED DURING
 SITE PLAN PROCESS

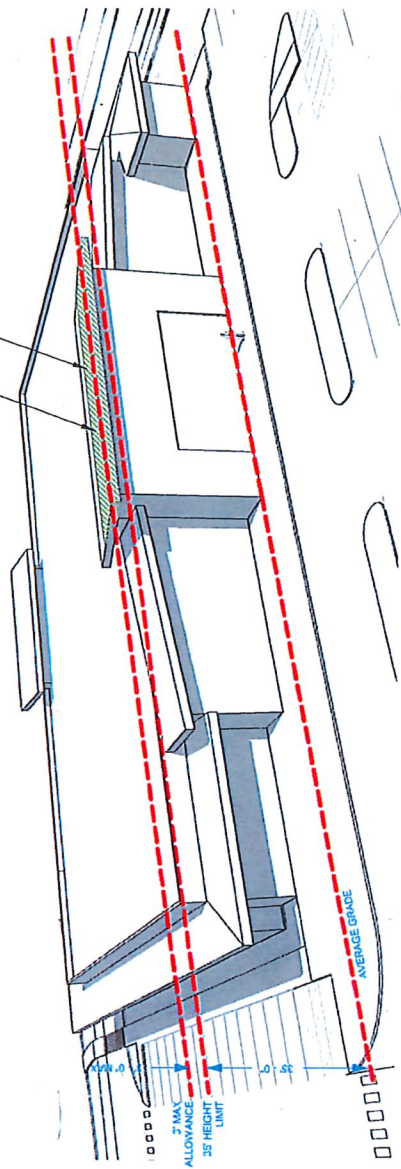
BUILDING HEIGHT DESCRIPTION RESIDENTIAL
 04.02.21



MAX BUILDING HEIGHT.
THIRTY-FIVE FEET (35') AS MEASURED FROM THE AVERAGE OF THE FINISHED GRADE OF THE FOUR CORNERS OF THE BUILDING TO THE HIGHEST VERTICAL POINT OF THE ROOF.

ARCHITECTURAL ELEMENTS SUCH AS DECORATIVE GABLED OR SHED ROOFS, DORMERS, TOWERS, PORTICOS, MECHANICAL EQUIPMENT SCREENING, ELEVATOR OR STAIR OVERRUNS, AND OTHER SIMILAR OVERFRAMED ELEMENTS MAY EXCEED HEIGHT LIMITS BY UP TO THREE FEET (3').

ELEMENTS ABOVE 35' FROM AVERAGE GRADE PLANE SHALL NOT EXCEED AN ADDITIONAL 3' IN HEIGHT



NOTE: ALL IMAGES HERE ARE FOR ILLUSTRATIVE PURPOSES ONLY. FINAL DESIGN SHALL BE DETERMINED DURING SITE PLAN PROCESS

BUILDING HEIGHT DESCRIPTION COMMERCIAL
04.02.21

